

# Agenda

## Planning Committee

Wednesday, 28 June 2023 at 7.30 pm

New Council Chamber, Town Hall, Reigate



This meeting will take place in the Town Hall, Castlefield Road, Reigate. Members of the public, Officers and Visiting Members may attend remotely or in person.

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### Members:

#### S. Parnall (Chair)

M. S. Blacker  
J. S. Bray  
P. Chandler  
Z. Cooper  
P. Harp  
K. Fairhurst  
J. Hudson

S. A. Kulka  
S. McKenna  
K. Sachdeva  
C. Stevens  
J. Thorne  
D. Torra  
M. Tary

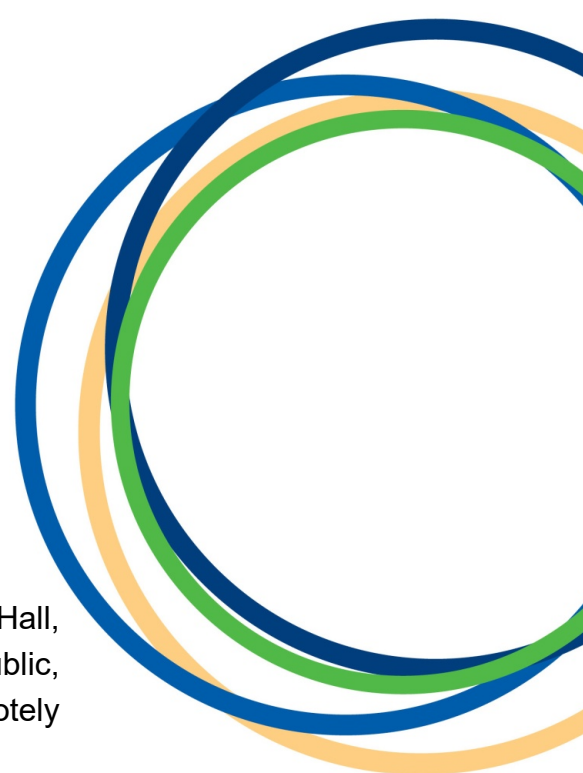
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Reigate & Banstead  
BOROUGH COUNCIL  
Banstead | Horley | Redhill | Reigate



## Substitutes:

<b>Conservatives:</b>	J. Baker, G. Buttironi, Dwight and B. Green
<b>Residents Group:</b>	G. Adamson, R. Harper, N. D. Harrison and G. Hinton
<b>Green Party:</b>	J. Booton, V. Chester, J. C. S. Essex, S. Khan, A. Proudfoot, R. Ritter and S. Sinden
<b>Liberal Democrats</b>	M. Elbourne

**Mari Roberts-Wood**  
Managing Director

**1. Minutes** (Pages 5 - 6)

To confirm as a correct record the Minutes of the previous meeting.

**2. Apologies for absence**

To receive any apologies for absence.

**3. Declarations of interest**

To receive any declarations of interest.

**4. Addendum to the agenda** (To Be Tabled)

To note the addendum tabled at the meeting which provides an update on the agenda of planning applications before the Committee.

**PLANNING APPLICATIONS:**

**NOTES:**

1. The order in which the applications will be considered at the meeting may be subject to change.
2. Plans are reproduced in the agenda for reference purposes only and are not reproduced to scale. Accordingly dimensions should not be taken from these plans and the originals should be viewed for detailed information. Most drawings in the agenda have been scanned, and reproduced smaller than the original, thus affecting image quality.

To consider the following applications :

**5. 22/02132/F - 12-18 High Street, Merstham** (Pages 7 - 26)

Retention of existing roof and re-use of original roofing timbers (where feasible) including re-use of original roofing slates; reinstatement of chimney stacks; retention and incorporation of remaining original first floor wall in connection with erection of first floor side and rear extension comprising three flats; new shopfront; and retention of single storey flank extension.

**6. 23/00654/F - Roebuck House, Bancroft Road, Reigate** (Pages 27 - 54)

Full planning application for the partial infill of the existing undercroft car park to form four new apartments together with waste and cycle storage.

**7. 22/02835/F - Josil, Waterhouse Lane, Kingswood** (Pages 55 - 94)

Demolition of existing house, erection of 1 no. detached house with 5 bedrooms and 2 no. semi-detached houses with 4 bedrooms with associated refuse storage and new landscaping; provision of two new vehicular accesses and closure of existing access. As amended on 03/02/2023.

**8. 23/01104/F - The Pavilion, Priory Park, Bell Street, Reigate** (Pages 95 - 106)

Installation of horizontal solar panels on the roof of the existing detached building to provide all future electrical power for the exclusive use of restaurant/cafe tenants. External elevations to remain unchanged. Internal plan to remain unchanged.

**9. 23/00970/HHOLD - 144 Balcombe Road, Horley** (Pages 107 - 118)

First floor extension to the existing single storey extension built in 1976 and conversion of existing garage.

**10. Any other urgent business**

To consider any item(s) which, in the opinion of the Chairman, should be considered as a matter of urgency.





### **Our meetings**

As we would all appreciate, our meetings will be conducted in a spirit of mutual respect and trust, working together for the benefit of our Community and the Council, and in accordance with our Member Code of Conduct. Courtesy will be shown to all those taking part.



### **Streaming of meetings**

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### **Accessibility**

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**Notice is given** of the intention to hold any part of this meeting in private for consideration of any reports containing "exempt" information, which will be marked accordingly.

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## Minutes of a meeting of the **Planning Committee** held at the **New Council Chamber - Town Hall, Reigate** on **Wednesday, 7 June 2023 at 7.30 pm.**

**Present:** Councillors; S. Parnall (Chair), M. S. Blacker (Vice-Chair), J. S. Bray, P. Chandler, Z. Cooper, P. Harp, K. Fairhurst, S. A. Kulka, S. McKenna, S. Parnall, K. Sachdeva, C. Stevens, Thorne, D. Torra, J. Baker (Substitute) and Dwight (Substitute)

### **1 Election of Chairman**

**RESOLVED** that Councillor Parnall; having been proposed by Councillor Blacker, and seconded by Councillor Cooper, be elected as Chairman of the Planning Committee for the 2023-24 municipal year.

### **2 Election of Vice-Chairman**

**RESOLVED** that Councillor Blacker; having been proposed by Councillor Parnall, and seconded by Councillor Cooper, be elected as Vice-Chairman of the Planning Committee for the 2023-24 municipal year.

### **3 Minutes**

**RESOLVED** that the minutes of the previous meeting held on 25 April 2023 be approved as a correct record.

### **4 Apologies for absence**

Apologies for absence had been received from Councillors Hudson and Tary, Councillors Dwight and Baker attended as their respective substitutes.

### **5 Declarations of interest**

There were no declarations of interest.

### **6 Development Management Quarter 4 2022-23 Performance**

The Head of Planning explained that the table in the report showed quarter 4 performance as well as the end of year data. Performance indicators for major applications and non-major applications were set by the Government.

In respect of major applications that were determined in the targeted timeframe for quarter 4, 83% were determined within this timeframe and overall for the year this was 90%, against a target of 60%. For non-major applications in quarter 4, 82% were determined within this timeframe and overall for the year this was 82% against a target of 70%.

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## Planning Committee, Wednesday, 7th June, 2023

Appeals were assessed on the quality of decision making. There had been 5 major appeals and 4 of these were dismissed, meeting the statutory target. 76% of non-major appeals were dismissed and this met the target. It was noted that 3 other Surrey authorities had been rated as poor performers.

In respect of enforcement, 483 breaches had been reported in 2022/23 and the number had been increasing year on year with possible reasons for the increase explained. These breaches had been managed well by the Enforcement Team.

The number of general planning applications received in 2022/23 had reduced slightly from the previous year. In March the number of days to register a planning application had increased to 10.8 and this was due to staff shortages. However, this had decreased more recently to 6.8 days. It was noted that a couple of Planning Officers had left the team, however a Planning Technician had been recruited and the Team believed in “growing their own” and the recruitment process would continue where required.

It was stated that the Government were looking to increase planning fees in the summer.

The Head of Planning **AGREED** to send information relating appeals and certificates of lawfulness.

In respect of recruitment, it was explained that recruiting experienced Planning Officers was difficult, this was why the department were committed to training and developing officers and those at the beginning of their careers at the Council were doing well.

With regards enforcement and the number of breaches, it was difficult to say whether more breaches were taking place or if there was just more reporting. It would not be feasible for the department to send officers to every build to ensure that they were compliant with their planning consent.

It was noted that generally householder applications were not considered at Committee. The Constitution remained static and therefore the reasons applications were considered at Committee remained the same.

It was noted that the average number of days to reach a decision was 98. This had been skewed by 2 applications which took a couple of years to determine due to legal agreements needing to be sought.


The Committee thanked the Planning Team for their continued work and the report was **NOTED**.

## 7 Any other urgent business

It was **AGREED** that the borough tour would take place on Saturday 24 June 2023.

Following consultation with the Committee it was **AGREED** that the Planning Committee meeting scheduled for Wednesday 19 July 2023 would be rescheduled and take place on Tuesday 25 July 2023.

The meeting finished at 7.56 pm

 <b>Reigate &amp; Banstead</b> <b>BOROUGH COUNCIL</b> Banstead   Horley   Redhill   Reigate	<b>TO:</b>	PLANNING COMMITTEE
	<b>DATE:</b>	28 June 2023
	<b>REPORT OF:</b>	HEAD OF PLANNING
	<b>AUTHOR:</b>	Matthew Holdsworth
	<b>TELEPHONE:</b>	01737 276752
	<b>EMAIL:</b>	Matthew.Holdsworth@reigate-banstead.gov.uk
<b>AGENDA ITEM:</b>	5	<b>WARD:</b> Hooley, Merstham, and Woodmansterne

<b>APPLICATION NUMBER:</b>	22/02132/F	<b>VALID:</b>	30/09/2022
<b>APPLICANT:</b>	Ringside Property Ltd	<b>AGENT:</b>	Grainger Planning Associates Ltd.
<b>LOCATION:</b>	<b>12-18 HIGH STREET, MERSTHAM</b>		
<b>DESCRIPTION:</b>	Retention of existing roof and re-use of original roofing timbers (where feasible) including re-use of original roofing slates; reinstatement of chimney stacks; retention and incorporation of remaining original first floor wall in connection with erection of first floor side and rear extension comprising three flats; new shopfront; and retention of single storey flank extension		
All plans in this report have been reproduced, are not to scale, and are for illustrative purposes only. The original plans should be viewed/referenced for detail.			

This application is referred to Committee in accordance with the Constitution as the application site is for net 3 dwellings

### SUMMARY

The application is for the erection of a first floor extension over part of the flat roof ground floor element to create three flats (1 x one bed, 1 x two bed, 1 x three bed). It is also proposed to retain and repair the roof of the Georgian elements of the locally listed building, reinstate the chimney stacks and reconstruct the wooden walls with masonry. A retrospective single storey side extension also forms part of this application.

The application follows on from enforcement action relating to damage caused to the locally listed building and a previous dismissed appeal for four flats above the existing ground floor. The scheme is considered to overcome the harm to the Merstham Conservation Area previously identified in the refused scheme dismissed at appeal by virtue of its reduced bulk, scale and massing, and reduction in eaves and ridge height so that it appears subservient to the existing building. The proposed extension is of a design in keeping with the Georgian character of the building.

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The proposal would repair the locally listed building and reinstate elements that have been lost, such as the chimney stacks. Conditions have been added to the permission relating to the repair and restoration of the locally listed building and to the shop front fascia and these are timed to be actioned before the occupation of the flats. In this respect therefore it is considered an appropriate remedy, in keeping with the character of the building and Merstham Conservation Area.

It is noted that no car parking for the flats has been proposed; however, neither Surrey Highways nor the planning inspector for the previous appeal raised an objection in relation to this due to the proximity to public transport within easy walking distance including a main line railway station and a local shopping centre.

## **RECOMMENDATION(S)**

Planning permission is GRANTED subject to conditions.

## Consultations:

Highway Authority: No objections subject to informatives being added to the permission.

Surrey Archaeological Officer: The original consented works carried out on this site were fully monitored by the Surrey County Council Archaeology Unit in accordance with a condition attached to the 2019 planning consent and so I can confirm I have no archaeological concerns regarding the current application.

Conservation Officer: I have no objection from a conservation viewpoint subject to conditions, as the latest amendments have either addressed the issues referred to in my previous email or has suggested these are covered by condition

## Representations:

Letters were sent to neighbouring properties on 04 October 2022 and a site notice was posted on 11 October 2022. Thirty five letters of representation from local residents (Thirty two from the same address) have been received raising the following concerns:

Issue	Number	Response
Harm to conservation area	32	See paragraphs 6.10-6.13
Harm to locally listed building	32	See paragraphs 6.10-6.13
Out of character	9	See paragraphs 6.4-6.6
Overdevelopment	8	See paragraphs 6.4-6.6
Inadequate parking	11	See paragraph 6.17-6.20

Two letter of support have also been received.

### 1.0 Site and Character Appraisal

1.1 The property is a substantial building, previously in A1 use (now class E) and now a gym. The building is locally listed and parts of it date from the 18th century. The site is also within Merstham Conservation Area. To the rear of the property is an informal parking area, accessed from Station Road. There are two lime trees situated on the highway verge that would not be impacted by the proposed development. The site is relatively flat.

1.2 There have been recent extensions and alterations, some of which have been approved under previous schemes and some of which are subject to enforcement action.

### 2.0 Added Value

2.1 Improvements secured at the pre-application stage: None

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- 2.2 Further improvements could be secured: Materials, conditions relating to the shopfront, reinstatement of chimneys and other parts of the locally listed building, broadband condition, water condition, highways conditions,

## **3.0 Relevant Planning and Enforcement History**

- 3.1 17/02682/F - Demolition of existing rear extensions, new single storey rear/side extension, new shop frontage, change of use to A3 and B1, new vehicle access, drop kerb to Station Road together with 8 no parking spaces – withdrawn by applicant.
- 3.2 19/01016/F - Change of use of the ground floor from A1 retail to mixed A1/D2 gym; demolition of the existing detached range of garages at the rear together with three rear extensions to the shops; erection of a single storey rear extension with car parking to the rear and a new dropped kerb. Installation of new shop fronts and replacement windows to first floor and amalgamation of two studio flats to form one self-contained 2-bed flat at first floor level – approved with conditions
- 3.3 19/01951/S73 - Change of use of the ground floor from A1 retail to mixed A1/D2 gym; demolition of the existing detached range of garages at the rear together with three rear extensions to the shops; erection of a single storey rear extension with car parking to the rear and a new dropped kerb. Installation of new shop fronts and replacement windows to first floor and amalgamation of two studio flats to form one self-contained 2-bed flat at first floor level. Variation of condition 1 of permission 19/01016/F. Amendment to approved plans – refused.
- 3.4 19/00288/DEMON – Removal of walls, chimney etc without permission – stop notices served.
- 3.5 20/02201/RET - Retrospective consent to demolish the original ground and first floor walls of No.14, consent to demolish the remaining original structure of the first floor walls, any remaining floor elements and the roof structure over of No.14; erection of a first floor over the whole of the ground floor comprising four 3-bed flats together with new roof over whole including the reintroduction of chimney stacks; and retain the ground floor side extension to the gym – non determination. – Appeal dismissed

## **4.0 Proposal and Design Approach**

- 4.1 The proposal is for a number of different aspects as follows:
- Erection of first floor extension over existing ground floor element to provide three flats.
  - Reinstatement of chimney stacks to locally listed building
  - Retention of the roof of the locally listed building
  - Repairs to the locally listed building.
  - Retention of the ground floor side extension to the gym.



- 4.2 The proposed scheme has been amended during the course of the application and follows a number of different applications and appeals relating to the site.
- 4.3 The design of the extension is in a Georgian style and is designed to be in keeping with the locally listed building. The scheme has been reduced from the proposal that was refused on appeal and is for three flats rather than four flats.
- 4.4 A design and access statement should illustrate the process that has led to the development proposal, and justify the proposal in a structured way, by demonstrating the steps taken to appraise the context of the proposed development. It expects applicants to follow a four-stage design process comprising:
- Assessment;
  - Involvement;
  - Evaluation; and
  - Design.
- 4.5 Evidence of the applicant’s design approach is set out below:

Assessment	At first floor level, there will be an extension over No.16 attached to the original building and running behind the original building. On the front elevation, the extension sits set back from the original front wall of No.14 to explain new from old. A further deep setback exists above the extension at No.18. The roof forms span shallow depths reflecting the Georgian designs of No.14, and the roof height of the original building s the tallest height, with roof heights stepping down progressively
Involvement	No community consultation took place.
Evaluation	N/A
Design	This application varies significantly from the appeal scheme in terms of its impact upon the locally listed building, a non-designated heritage asset. The original front wall at first floor is now to be retained and the uPVC windows replaced with timber windows; and the existing roof is to be kept with existing roof timbers supplemented where necessary. The materials of the extension will match the existing building.

- 4.6 Further details of the development are as follows:

Site area	0.1 hectares
Proposed parking spaces	0 (for the dwellings)
Parking standard	3

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Net increase in dwellings	2 (three overall but replacing one on the first floor of the locally listed building that was lost with the extensions to the gym)
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## 5.0 Policy Context

### 5.1 Designation

Urban Area

### 5.2 Reigate and Banstead Core Strategy

CS1(Sustainable Development)  
CS4 (Valued Townscapes and Historic Environment)  
CS10 (Sustainable Development),  
CS11 (Sustainable Construction),  
CS15 (Affordable Housing)

### 5.2 Reigate & Banstead Development Management Plan 2019

Natural Environment	NHE3, NHE9
Design, Character, and amenity	DES1, DES5, DES8
Transport, Access, and parking	TAP1
Climate Change resilience	CCF1
Infrastructure to support growth	INF3

### 5.3 Other Material Considerations

National Planning Policy Framework	
Supplementary Planning Guidance	Surrey Design Local Distinctiveness Design Guide Householder Extensions and Alterations
Other	Human Rights Act 1998

## 6.0 Assessment

6.1 The application site is situated within the urban area where there is a presumption in favour of sustainable development and where the principle of such development is acceptable in land use terms.

6.2 The main issues to consider are:

- Impact on local character
- Impact on locally listed building
- Neighbour amenity
- Highway and parking matters

- Trees and landscaping
- CIL
- Affordable housing
- Sustainability and Climate Change
- Other matters

## Impact on local character

- 6.3 The application is for the erection of a first floor extension above much of the existing gym to provide 1x one bed flat, 1 x two bed flat and 1 x three bed flat. In addition, the retention of the existing ground floorside extension is proposed. Aspects of the application relating to the repair of the locally listed building will be discussed in the next section.
- 6.4 The previous scheme for four flats was considered an overdevelopment of the site with a higher ridge than the existing building and increase in bulk, scale and massing. This was considered harmful to the wider conservation area and the impact on the locally listed building.
- 6.5 The proposed scheme has reduced the quantum of development with ridges that are subservient to the original building and the extension is set back from the original dwelling. To the rear, there would be a number of gables in keeping with the original Georgian dwelling. This scheme is considered to overcome the harm to the conservation area and would now have eaves and a ridge no higher than the existing dwelling and would be in keeping with the heights of the other properties within the High Street, all of which falls under the Merstham Conservation Area.
- 6.6 The conservation officer has been consulted during the course of the application, and in terms of materials proposed on the extension, he raises no objection to the proposed materials subject to some conditions relating to the render, tiling and the use of wooden sash windows.
- 6.7 It is noted that the side extension is retrospective in nature and originally the Council raised concerns in relation to the side extension. However, in the appeal decision for 20/02201/RET, the inspector made the following comments: *“The single storey side extension is set well back from the public footpath and matches the height and appearance of the rear extensions. In itself, it does not have an adverse effect upon the existing building or wider MCA (Merstham Conservation Area).”*  
Therefore the retained side extension is acceptable in terms of its design and impact on the character of the conservation area.
- 6.8 The three residential units proposed exceed the minimum sizes as stated within the nationally prescribed space standards and comply with policy DES5.

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- 6.9 It is considered therefore that the quantum of development and the design of the buildings are appropriate on this site and the proposal complies with both policies DES1 and NHE9 in this regard.

## Impact on the locally listed building

- 6.10 Policy NHE9 and Para 195 of the NPPF require that Local planning authorities should identify and assess the particular significance of any heritage asset that may be affected by a proposal (including by development affecting the setting of a heritage asset) taking account of the available evidence and any necessary expertise. Para 196 states that where there is evidence of deliberate neglect of, or damage to, a heritage asset, the deteriorated state of the heritage asset should not be taken into account in any decision
- 6.11 Para 203 of the NPPF requires that the effect of an application on the significance of a non-designated heritage asset should be taken into account in determining the application. In weighing applications that directly or indirectly affect non-designated heritage assets, a balanced judgement will be required having regard to the scale of any harm or loss and the significance of the heritage asset.
- 6.12 The previous application was refused (20/02201/RET) as the locally listed building would have been largely lost at first floor. The appeal inspector agreed with the council's assessment and stated:  
*"Some of the upper floor walls have been lost during the works to the ground floor but the complete loss of the upper floor walls and roof would significantly erode the building's significance as a non-designated heritage asset."*
- 6.13 In this application, the proposal seeks to reinstate much of the locally listed building, including the reconstruction of the side walls, repair and reconstruction of the roof, reinstatement of the chimney stacks that have been removed and reinstatement of wooden sash windows to the front elevation of the locally listed building. The applicants have provided a structural report as part of the application.
- 6.14 It is noted that the first floor of the locally listed building will not have sufficient head height to be used as residential accommodation which is lamentable. However, the proposed changes and repair to the locally listed building will enhance the non-designated heritage asset within the conservation area. The conservation officer has raised no objections to the proposal subject to a number of conditions relating to the chimney stacks, the replacement of the side wooden walls with masonry, the replacement and repair of the roof and its structure, and the repair of the shopfront fascia.
- 6.15 Subject to the above conditions being carried out, it is considered that the proposal complies with policy NHE9 and that the proposal now sufficiently preserves the non-designated heritage asset

## Neighbour amenity

- 6.16 The proposal would increase the bulk and quantum of development on the site. A site visit has been undertaken in order to assess the impact of the new dwellings on neighbouring properties. It is noted that the closest residential neighbours to the property are those to the rear (east) of the site at Broadmead which is a block of residential flats. There is significant separation distance between the two properties of around 20m and the rear windows of the proposal would face onto the rear wall of the block of flats. Due to the distances involved, and the similar position of a number of the first floor rear windows to the existing building, it is not considered that there would be an unacceptable loss of amenity to those flats to the rear.
- 6.17 Turning to the side facing windows, these would face onto a road or a flank side elevation of a neighbouring unit on the High Street and these are not considered to cause significant or material overlooking to those properties.
- 6.18 Consequently, it is considered that the proposal would not cause significant or material harm to the amenity of neighbouring properties and therefore, the proposal complies in this regard with policy DES1.

## Highway and Parking Matters

- 6.19 The County Highways Authority has assessed the proposed development on safety, capacity and policy grounds and have recommended that the proposal would not cause material harm to the safety and operation of the adjacent highway.
- 6.20 DMP policy TAP1 states that new residential development should: "Include car parking and cycle storage for residential and non-residential development in accordance with adopted local standards (see Annex 4). The applicant has stated that the proposed flats would have no parking.
- 6.21 The applicant provided with the previous planning application a parking survey and they made the following comments:  
"Applying the new parking standards to the proposed development would suggest a total of four parking spaces for the four proposed flats. Discounting the theoretical parking demand arising from either the two original studio units or the one 2-bed flat approved as part of the 2019 permission, a parking survey (included within the accompanying parking report) concludes that the on-street parking stress within 200m of the site would only rise to 70% if all the theoretical parking demand was placed on-street."
- 6.22 No objection was raised in terms of lack of parking for the previous planning application and the planning inspector agreed with this. It is noted that there is a reduction of one flat from the previous proposal and the impact on on-street parking would be reduced from that scheme. The site is within a 2 minute walk of a main line railway station, and within a local shopping centre as well as on

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a relatively major bus route. It is therefore considered that the proposal complies in this regard with policy TAP1.

## CIL

- 6.23 The Community Infrastructure Levy (CIL) is a fixed charge which the Council will be collecting from some new developments from 1 April 2016. It will raise money to help pay for a wide range of infrastructure including schools, roads, public transport and community facilities which are needed to support new development. This development would be CIL liable although the exact amount would be determined and collected after the grant of planning permission.

## Affordable Housing

- 6.24 Development Management Plan DES6 states that on developments providing 11 or more homes, 30% of the homes on site should provide affordable housing. This supersedes the Core Strategy policy CS15 in its entirety.
- 6.25 In view of this, the Council is not presently requiring financial contributions from applications such as this resulting in a net gain of 10 units or less.

## Sustainability and Climate Change

- 6.26 Policy CCF1 of the Councils Development Management Plan 2019 seeks to ensure that all new development contributes to reducing carbon emissions. New development will be encouraged to incorporate passive and active energy efficiency measure and climate change resilience measures and renewable energy technologies. In order that the proposed development contributes to achieving these aims, in the event that planning permission is granted, a condition requiring demonstration that it will meet the national water efficiency standard of 110litres/person/day will be attached.

## Other Matters

- 6.27 Electronic communication networks: Policy INF3 criteria 1 states that "The Council will require all new development to be connected with high speed and reliable broadband". A condition has been added to the permission to this effect.

## CONDITIONS

1. The development hereby permitted shall be carried out in accordance with the following approved plans.

Reason: To define the permission and ensure the development is carried out in accord with the approved plans and in accordance with National Planning Practice Guidance.

Note: Should alterations or amendments be required to the approved plans, it will be necessary to apply either under Section 96A of the Town and Country Planning Act 1990 for non-material alterations or Section 73 of the Act for minor material alterations. An application must be made using the standard application forms and you should consult with us, to establish the correct type of application to be made.

Plan Type	Reference	Version	Date Received
Detailed Technical Plan	Unnumbered		24.04.2023
Detailed Technical Plan	Unnumbered		24.04.2023
Detailed Technical Plan	Unnumbered		24.04.2023
Existing Plans	P1	A	30.09.2022
Proposed Plans	P2	C	16.01.2023

2. The development hereby permitted shall be begun before the expiration of three years from the date of this permission.

Reason: To comply with Section 91(1) of the Town and Country Planning Act 1990 as amended by Section 51 (1) of the Planning and Compulsory Purchase Act 2004

3. Notwithstanding the drawings, the proposed external finishing materials and details shall be carried out using the external facing materials and details specified below and there shall be no variation without the prior approval in writing of the Local Planning Authority:

- a) All external joinery shall be white painted timber.
- b) All external walls shall be finished in white or cream painted smooth render.
- c) Before any occupation of the flats the timber external walls to the existing building shall be replaced with external rendered masonry walls.
- d) All roofs shall match the existing roof angle and the existing roof shall remain as existing angle and height, notwithstanding the angle of roof shown on the drawings.
- e) The stability of the original front façade shall be maintained during and after the works. The front window height and opening size and position shall remain as existing.
- f) The existing signs on the frontage including fascia signs, shop signs, fence signs and illuminated box sign above entrance shall be removed before the occupation of the flats.

Reason: To ensure that the development hereby permitted is only constructed using the appropriate external facing materials and detailing in the interest of maintaining the historic and architectural character of the locally listed building

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and the visual amenities of the conservation area with regard to Reigate and Banstead Development Management Plan 2019 policies DES1 and NHE9.

4. Before installation of the front elevation shopfronts and external doors, details of the proposed shopfront and door joinery including detailed elevations and cross sections of the shopfront joinery including the fascias, shall be submitted to and approved in writing by the Local Planning Authority. The works shall be carried out in accordance with these approved details. All joinery shall be of painted timber. The shopfronts shall be completed, and the existing signs removed before any occupation of the flats.

Reason: To ensure that the development hereby permitted is only constructed using the appropriate external facing materials and detailing in the interest of maintaining the historic and architectural character of the locally listed building and the visual amenities of the conservation area with regard to Reigate and Banstead Development Management Plan 2019 policies DES1 and NHE9.

5. All windows at first floor shall be white painted timber vertically sliding sashes with external glazing bars of traditional profile, no sash horns and set back behind the reveal at one brick depth. Before installation of these first floor windows, details of the joinery shall be submitted to and approved in writing by the LPA. All the first floor windows including those on the existing building shall be replaced with the approved painted timber vertically sliding sashes before any occupation of the flats.

Reason: To ensure that the development hereby permitted is only constructed using the appropriate external facing materials and detailing in the interest of maintaining the historic and architectural character of the locally listed building and the visual amenities of the conservation area with regard to Reigate and Banstead Development Management Plan 2019 policies DES1 and NHE9.

6. Notwithstanding the General Permitted Development Order, details of any photovoltaics or solar panels to be installed shall be submitted to and approved in writing by the Local Planning Authority to consider their site, appearance and locations in relation to the character of the Conservation Area and Locally Listed Building before their installation.

Reason: To ensure that the development hereby permitted is only constructed using the appropriate external facing materials and detailing in the interest of maintaining the historic and architectural character of the locally listed building and the visual amenities of the conservation area with regard to Reigate and Banstead Development Management Plan 2019 policies DES1 and NHE9.

7. Notwithstanding the General Permitted Development Order, details of any charging points shall be submitted to and approved in writing by the Local Planning Authority. The sockets, feeder pillars, conduit and any guarding shall minimise the visual impact and of a dark colour and minimal illumination to conserve the character of the Conservation Area and Locally Listed Building heritage asset. Conduits shall be located below ground where possible.



Reason: To ensure that the development hereby permitted is only constructed using the appropriate external facing materials and detailing in the interest of maintaining the historic and architectural character of the locally listed building and the visual amenities of the conservation area with regard to Reigate and Banstead Development Management Plan 2019 policies DES1 and NHE9.

8. Details of any bicycle stores or refuse stores shall be submitted to and approved in writing by the Local Planning Authority before their installation.

Reason: To ensure that the development hereby permitted is only constructed using the appropriate external facing materials and detailing in the interest of maintaining the historic and architectural character of the locally listed building and the visual amenities of the conservation area with regard to Reigate and Banstead Development Management Plan 2019 policies DES1 and NHE9.

9. Before the brick chimneystacks are reinstated details of their construction, shall be submitted to and approved in writing by the Local Planning Authority including reinstating the corbelling detail to the original detail of 2 rows brick corbel 2 bricks above, installation of terracotta chimney pots and approval of brickwork to match the original brick and shall be a dark red handmade sandfaced clay brick.

Reason: To ensure that the development hereby permitted is only constructed using the appropriate external facing materials and detailing in the interest of maintaining the historic and architectural character of the locally listed building and the visual amenities of the conservation area with regard to Reigate and Banstead Development Management Plan 2019 policies DES1 and NHE9.

10. The roof shall be of natural slate with Staffordshire blue clay ridge tiles. A photographic sample of the proposed slate adjacent to the original historic slates showing it is of the same size, dimensions, texture and colour shall be submitted to and approved in writing by the Local Planning Authority before their installation. The roof shall be fully repaired before the occupation of any units.

Reason: To ensure that the development hereby permitted is only constructed using the appropriate external facing materials and detailing in the interest of maintaining the historic and architectural character of the locally listed building and the visual amenities of the conservation area with regard to Reigate and Banstead Development Management Plan 2019 policies DES1 and NHE9.

11. Detailed drawings of the strengthening, stabilising and repair of the existing roof timbers including eaves level timbers, purlins, rafters, joists, collars and tie beams shall be submitted to and approved in writing by the LPA before any repairs commence. All existing timbers from eaves level upwards shall be retained (the application section drawing shall not apply to the existing roof area). All repairs shall be in the form of supplementary timbers running alongside the existing timbers to provide structural support. All repairs shall be completed before occupation of any of the flats.

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Reason: To ensure that the development hereby permitted is only constructed using the appropriate external facing materials and detailing in the interest of maintaining the historic and architectural character of the locally listed building and the visual amenities of the conservation area with regard to Reigate and Banstead Development Management Plan 2019 policies DES1 and NHE9

12. All rooflights shall be black painted metal conservation rooflights with a single vertical glazing bar. Metal sheet wrapped timber rooflights are not acceptable. Details of the conservation rooflights shall be submitted to and approved in writing by the Local Planning Authority before their installation.

Reason: To ensure that the development hereby permitted is only constructed using the appropriate external facing materials and detailing in the interest of maintaining the historic and architectural character of the locally listed building and the visual amenities of the conservation area with regard to Reigate and Banstead Development Management Plan 2019 policies DES1 and NHE9

13. All dwellings within the development hereby approved shall be provided with the necessary infrastructure to facilitate connection to a high speed broadband. Unless otherwise agreed in writing with the Local Planning Authority, this shall include as a minimum:
- a) A broadband connection accessed directly from the nearest exchange or cabinet,
  - b) Cabling and associated installations which enable easy access for future repair, replacement or upgrading.

Reason: To ensure that the development promotes access to, and the expansion of, a high quality electronic communications network in accordance with Policy INF3 of the Reigate & Banstead Development Management Plan 2019.

14. The development hereby approved shall not be first occupied unless and until a Water Efficiency Statement has been submitted to and approved in writing by the Local Planning Authority. The Statement shall detail how the development will ensure that the potential water consumption by occupants of each new dwelling does not exceed 110 litres per person per day,

The development shall be carried out in accordance with the approved details and any measures specific to an individual dwelling(s) shall be implemented, installed and operational prior to its occupation.

Reason: To ensure that the development supports the efficient use of resources and minimises carbon emissions with regard to Policy CS10 of the Reigate & Banstead Core Strategy 2014 and Policy CCF1 of the Reigate & Banstead Development Management Plan 2019.

## INFORMATIVES

1. You are advised that the Council will expect the following measures to be taken during any building operations to control noise, pollution and parking:
  - (a) Work that is audible beyond the site boundary should only be carried out between 08:00hrs to 18:00hrs Monday to Friday, 08:00hrs to 13:00hrs Saturday and not at all on Sundays or any Public and/or Bank Holidays;
  - (b) The quietest available items of plant and machinery should be used on site. Where permanently sited equipment such as generators are necessary, they should be enclosed to reduce noise levels;
  - (c) Deliveries should only be received within the hours detailed in (a) above;
  - (d) Adequate steps should be taken to prevent dust-causing nuisance beyond the site boundary. Such uses include the use of hoses to damp down stockpiles of materials, which are likely to generate airborne dust, to damp down during stone/slab cutting; and the use of bowsers and wheel washes;
  - (e) There should be no burning on site;
  - (f) Only minimal security lighting should be used outside the hours stated above; and
  - (g) Building materials and machinery should not be stored on the highway and contractors' vehicles should be parked with care so as not to cause an obstruction or block visibility on the highway.Further details of these noise and pollution measures can be obtained from the Council's Environmental Health Services Unit.

In order to meet these requirements and to promote good neighbourliness, the Council recommends that this site is registered with the Considerate Constructors Scheme - [www.ccscheme.org.uk/index.php/site-registration](http://www.ccscheme.org.uk/index.php/site-registration).

2. Your attention is drawn to the safety benefits of installing sprinkler systems as an integral part of new development. Further information is available at [www.firesprinklers.info](http://www.firesprinklers.info).
3. The applicant is advised that the Borough Council is the street naming and numbering authority and you will need to apply for addresses. This can be done by contacting the Address and Gazetteer Officer prior to construction commencing. You will need to complete the relevant application form and upload supporting documents such as site and floor layout plans in order that official street naming and numbering can be allocated as appropriate. If no application is received the Council has the authority to allocate an address. This also applies to replacement dwellings. If you are building a scheme of more than 5 units please also supply a CAD file (back saved to 2010) of the development based on OS Grid References. Full details of how to apply for addresses can be found [http://www.reigate-banstead.gov.uk/info/20277/street\\_naming\\_and\\_numbering](http://www.reigate-banstead.gov.uk/info/20277/street_naming_and_numbering)
4. The applicant is advised that prior to the initial occupation of any individual dwelling hereby permitted, to contact the Council's Neighbourhood Services team to confirm the number and specification of recycling and refuse bins that are required to be supplied by the developer. All developer enquires on recycling and refuse bin ordering, collections and discussing waste matters is via our department email address RC@reigate-banstead.gov.uk . Please also note our website area for developers [23](https://www.reigate-</a></li></ol></div><div data-bbox=)

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[banstead.gov.uk/info/20062/recycling\\_and\\_refuse/392/fees\\_for\\_recycling\\_and\\_refuse\\_services/3](https://banstead.gov.uk/info/20062/recycling_and_refuse/392/fees_for_recycling_and_refuse_services/3).

5. The applicant is encouraged to provide renewable technology within the development hereby permitted in order to reduce greenhouse gas emissions. Further information can be found on the Council website at : [Climate Change Information](#).
6. The developer is reminded that it is an offence to allow materials to be carried from the site and deposited on or damage the highway from uncleaned wheels or badly loaded vehicles. The Highway Authority will seek, wherever possible, to recover any expenses incurred in clearing, cleaning or repairing highway surfaces and prosecutes persistent offenders. (Highways Act 1980 Sections 131, 148, 149).
7. Section 59 of the Highways Act permits the Highway Authority to charge developers for damage caused by excessive weight and movements of vehicles to and from a site. The Highway Authority will pass on the cost of any excess repairs compared to normal maintenance costs to the applicant/organisation responsible for the damage.
8. The permission hereby granted shall not be construed as authority to carry out any works on the highway or any works that may affect a drainage channel/culvert or water course. The applicant is advised that a permit and, potentially, a Section 278 agreement must be obtained from the Highway Authority before any works are carried out on any footway, footpath, carriageway, verge or other land forming part of the highway. All works on the highway will require a permit and an application will need to be submitted to the County Council's Street Works Team up to 3 months in advance of the intended start date, depending on the scale of the works proposed and the classification of the road. Please see <http://www.surreycc.gov.uk/roads-and-transport/road-permits-and-licences/the-traffic-management-permit-scheme> . The applicant is also advised that Consent may be required under Section 23 of the Land Drainage Act 1991. Please see [www.surreycc.gov.uk/people-and-community/emergency-planning-and-community-safety/floodingadvice](http://www.surreycc.gov.uk/people-and-community/emergency-planning-and-community-safety/floodingadvice) .
9. The applicant is expected to ensure the safe operation of all construction traffic in order to prevent unnecessary disturbance, obstruction and inconvenience to other highway users. Care should be taken to ensure that the waiting, parking, loading and unloading of construction vehicles does not hinder the free flow of any carriageway, footway, bridleway, footpath, cycle route, right of way or private driveway or entrance. Where repeated problems occur the Highway Authority may use available powers under the terms of the Highways Act 1980 to ensure the safe operation of the highway.
10. It is the responsibility of the developer to ensure that the electricity supply is sufficient to meet future demands and that any power balancing technology is in place if required. Please refer to:

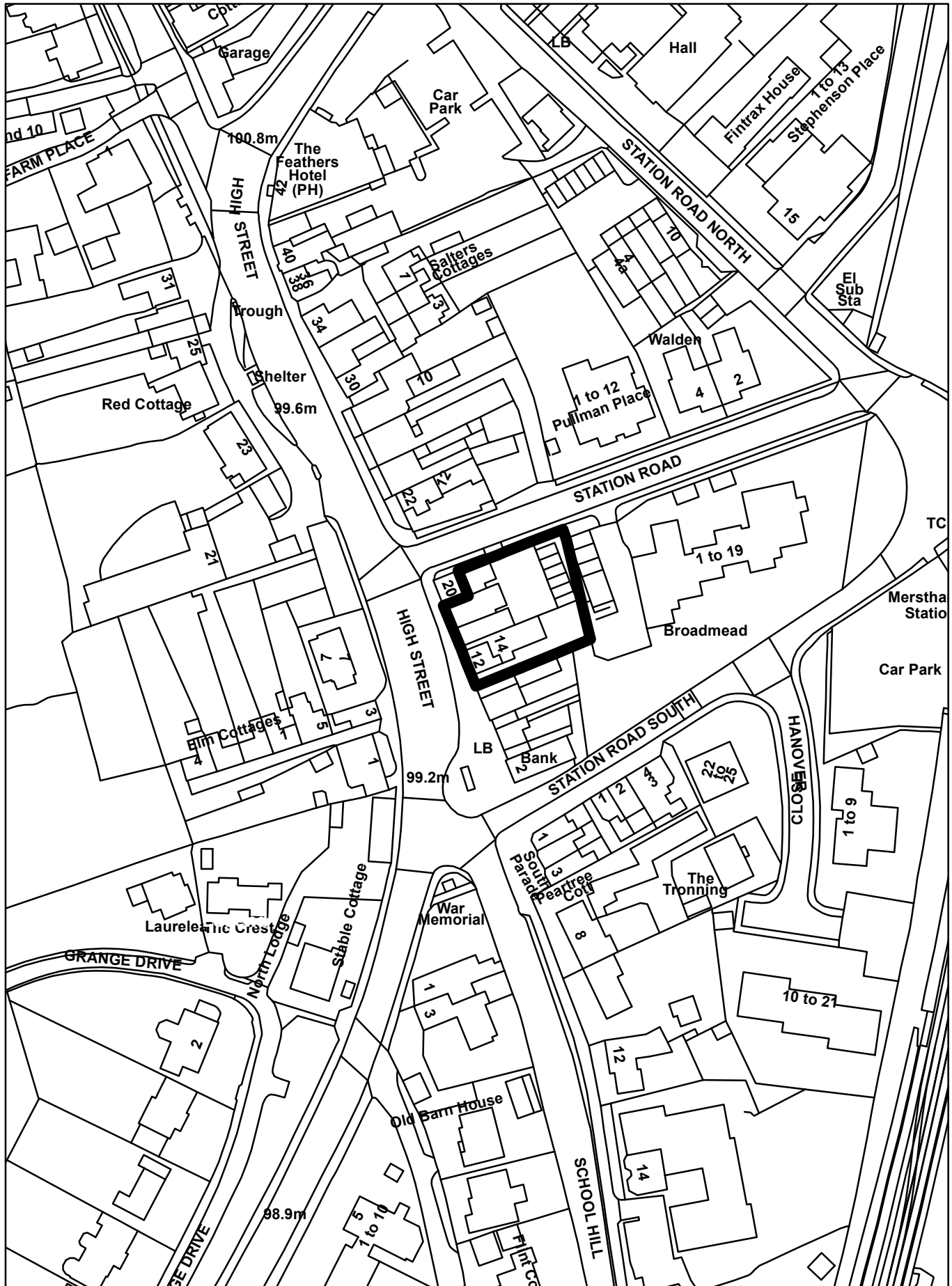
<http://www.beama.org.uk/resourceLibrary/beama-guide-to-electric-vehicle-infrastructure.html> for guidance and further information on charging modes and connector types.

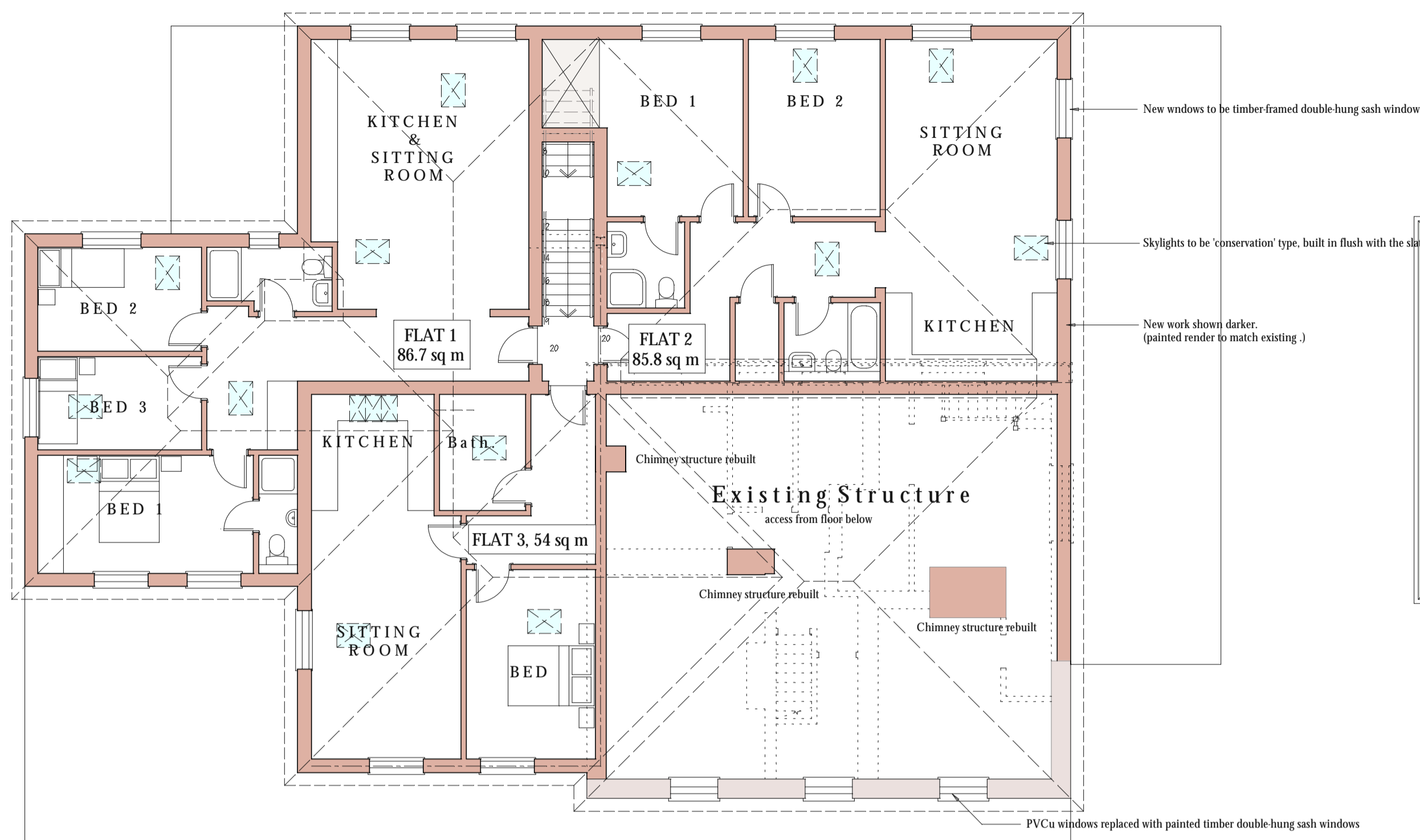
## **REASON FOR PERMISSION**

The development hereby permitted has been assessed against development plan policies DES1, DES5, DES8, TAP1, NHE3, NHE9, CCF1, INF3, and material considerations, including third party representations. It has been concluded that the development is in accordance with the development plan and there are no material considerations that justify refusal in the public interest.

The Local Planning Authority has acted positively and proactively in determining this application by assessing the proposal against all material considerations, including planning policies and any representations that may have been received and subsequently determining to grant planning permission in accordance with the presumption in favour of sustainable development where possible, as set out within the National Planning Policy Framework.

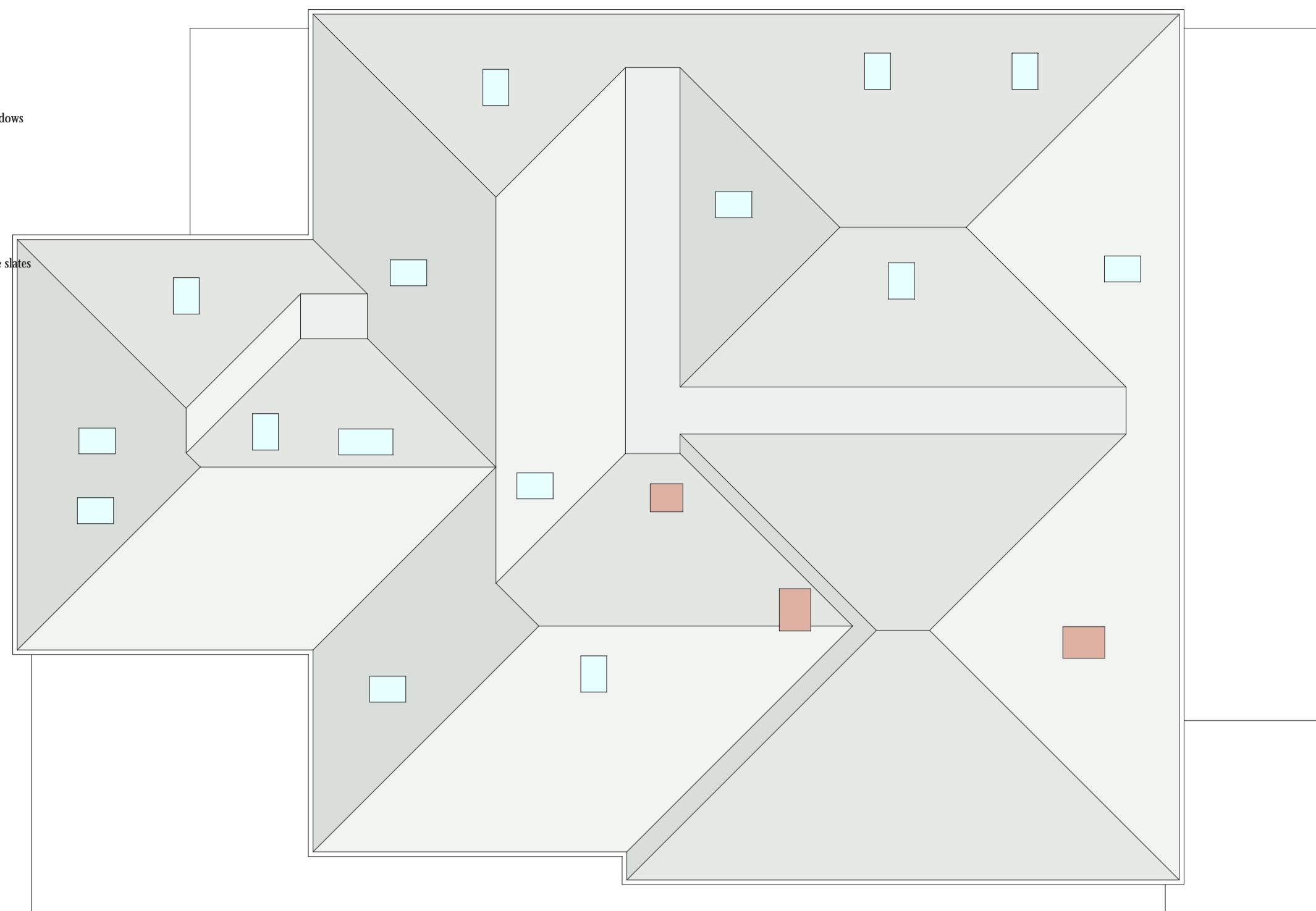
# Agenda Item 5 22/02132/F - 12-18 High Street, Merstham



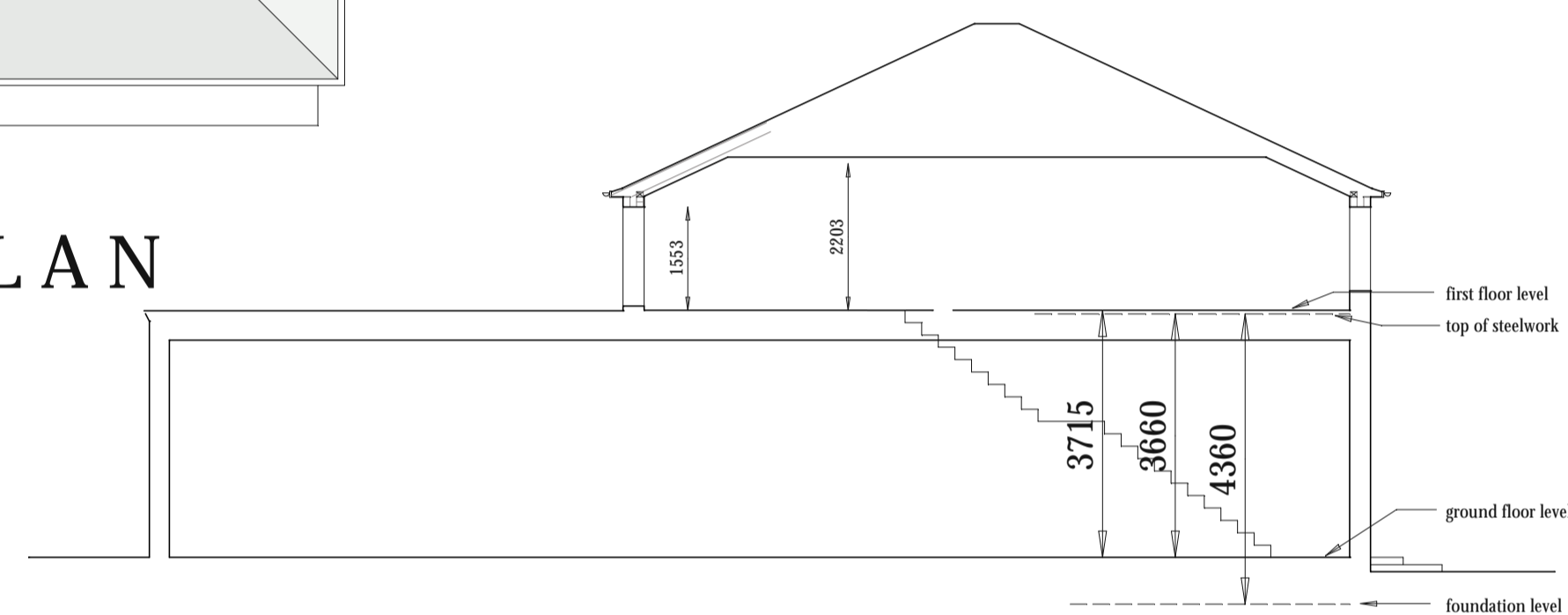
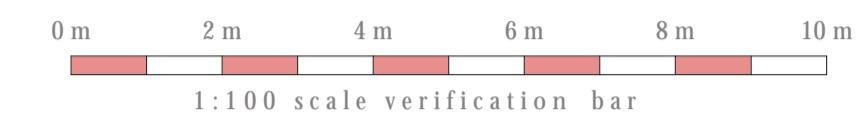


**PROPOSED FIRST FLOOR PLAN**

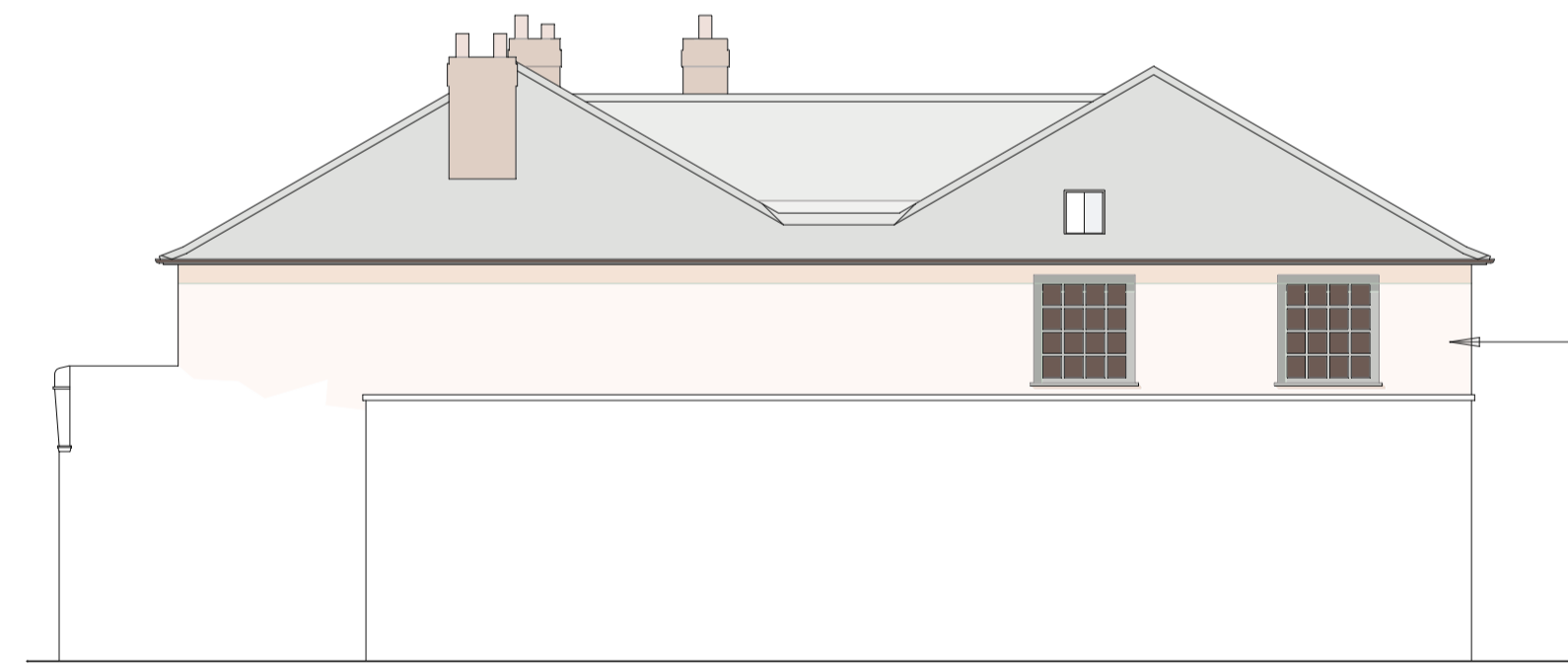
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**PROPOSED ROOF PLAN**



**SECTION**

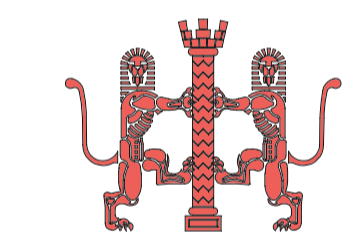


**FLANK ELEVATION**

SCALE 1:100



**REAR ELEVATION**



GRAHAM RIX R I B A  
CHARTERED ARCHITECT  
13 Furze Lane, Purley  
Surrey CR8 3EJ

tel: 020 8660 2571

web site: [www.grahamrix.co.uk](http://www.grahamrix.co.uk)  
email: [graham@grahamrix.co.uk](mailto:graham@grahamrix.co.uk)

Proposed Development  
at  
**12-18 HIGH STREET**  
**MERTHAM RH1 3EA**  
for Carvall Homes Ltd

**THE PROPOSAL**

scale 1:100

21/08/2022

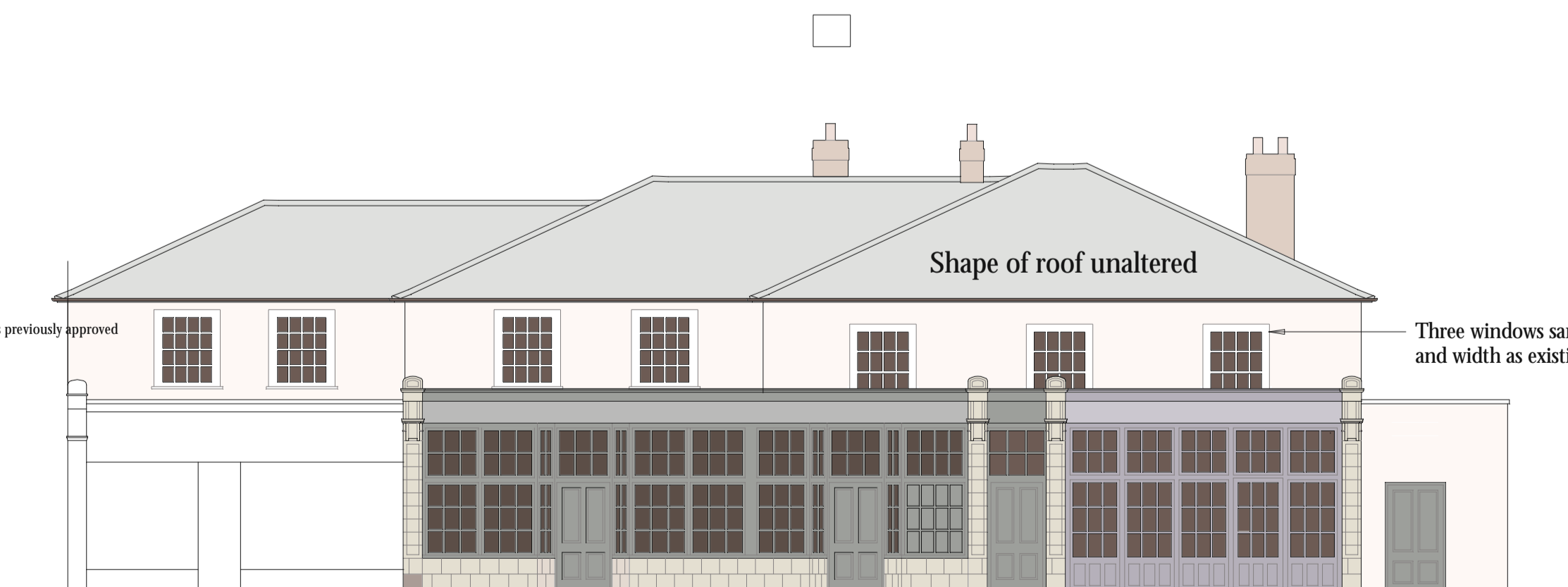
Rev C 16/12/2022 Front sash windows lowered  
Rev B 20/09/2022 Additional stack shown  
Rev A 24/08/2022 Approved shop front shown

**12HS**

**P2 (C)**



**FLANK ELEVATION**

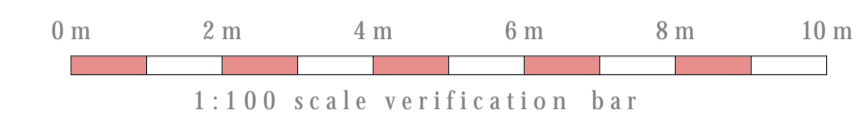


**PROPOSED FRONT ELEVATION**

APPROVED SHOP FRONT SHOWN

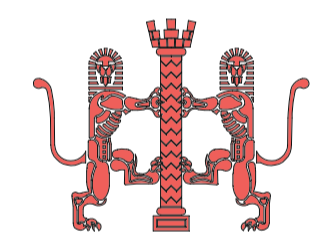
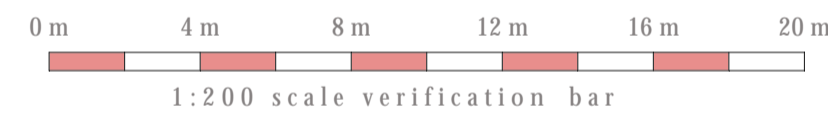
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**PROPOSED GROUND FLOOR AND SITE PLAN**

scale 1:200



GRAHAM RIX R I B A  
CHARTERED ARCHITECT  
13 Furze Lane, Purley  
Surrey CR8 3EJ

tel: 020 8660 2571

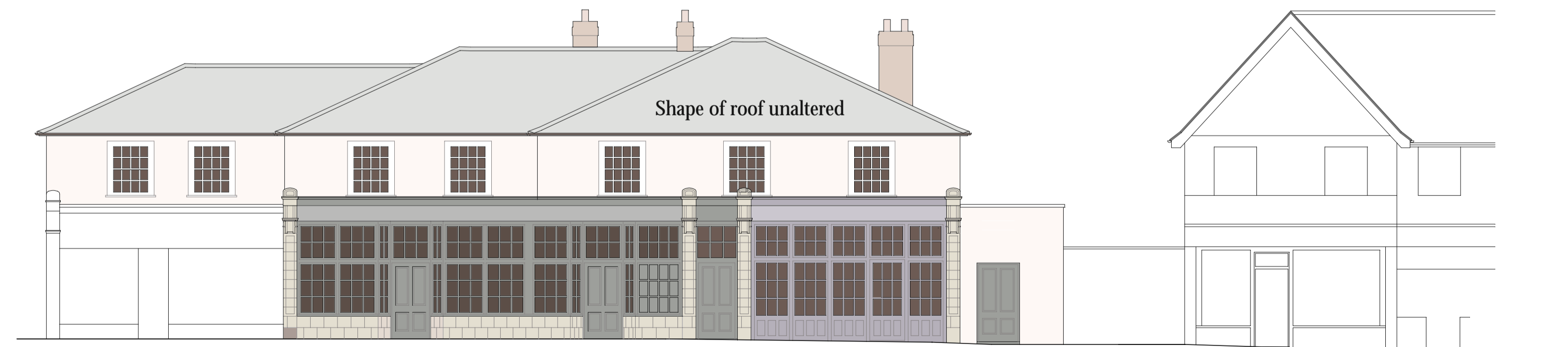
web site: [www.grahamrix.co.uk](http://www.grahamrix.co.uk)  
email: [graham@grahamrix.co.uk](mailto:graham@grahamrix.co.uk)

Proposed Development  
at  
12-18 HIGH STREET  
MERSTHAM RH1 3EA  
for Carvall Homes Ltd

THE  
PROPOSAL

scale 1:100, 1:200

28/09/2022

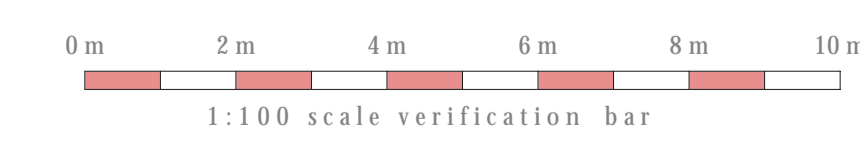


**PROPOSED FRONT ELEVATION**

APPROVED SHOP FRONT SHOWN

scale 1:100

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12HS


P3



# Agenda Item 6

Planning Committee  
28<sup>th</sup> June 2023

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23/00654/F

 <p><b>Reigate &amp; Banstead</b> BOROUGH COUNCIL Banstead   Horley   Redhill   Reigate</p>	<b>TO:</b>	PLANNING COMMITTEE
	<b>DATE:</b>	28 <sup>th</sup> June 2023
	<b>REPORT OF:</b>	HEAD OF PLANNING
	<b>AUTHOR:</b>	Matthew Sheahan
	<b>TELEPHONE:</b>	01737 276514
	<b>EMAIL:</b>	Matthew.sheahan@reigate-banstead.gov.uk
<b>AGENDA ITEM:</b>	6	<b>WARD:</b> RGT - Reigate

<b>APPLICATION NUMBER:</b>	23/00654/F	<b>VALID:</b>	17/04/2023
<b>APPLICANT:</b>	Roebuck Close Ltd	<b>AGENT:</b>	Origin Planning Services
<b>LOCATION:</b>	<b>ROEBUCK HOUSE BANCROFT ROAD REIGATE SURREY RH2 7RP</b>		
<b>DESCRIPTION:</b>	Full planning application for the partial infill of the existing undercroft car park to form four new apartments together with waste and cycle storage.		
<b>All plans in this report have been reproduced, are not to scale, and are for illustrative purposes only. The original plans should be viewed/referenced for detail.</b>			

## SUMMARY

This is a full application for the infilling of part of the existing ground floor of Roebuck House, Reigate, to create four new flats, with associated parking, refuse and cycle storage. The existing ground floor office unit would be retained. The site is located on the corner of Roebuck Close and Bancroft Road in Reigate and is within the Reigate Conservation Area. The building is currently vacant however was formerly occupied as office accommodation and has been granted consent via a prior approval application for the conversion of the upper floors to 22 residential flats.

The proposal would see part of the existing undercroft parking area on the ground floor be converted to 2 x 2 bed flats and 2 x 1 bed flats. The height and form of the building would remain unchanged. Two of the flats would address Roebuck Close whilst the remaining two would face the rear of the site. The principle of the conversion to a residential use is considered acceptable given the extant prior approval consent to which works have commenced. The character of the road is now very much residential, given the presence of Churchfield Court to the east, and Vale House to the south, which also benefits from prior approval consent to develop the previous office use to residential.

The choice of materials for the proposed flats would be acceptable and in keeping with the character of the conservation area and would not be harmful to the character of the street scene. The remaining office unit on the ground floor would see part of the active ground floor frontage retained on the corner of the road where

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it would be most visible, which would be of benefit to the more commercial nature of Bancroft Road.

The relationship between the building and neighbouring properties would be acceptable. There would be reasonable separation between the front elevations that would be similar to many residential streets, such that there would not be undue overlooking between properties. The physical relationship would be similar to that experienced with the previous office use.

The proposal would see a further 4 flats created, bringing a total of 26, for which 26 parking spaces are provided. Four spaces would also be provided for the proposed office space. Prior approval application 21/02800/PAP3O was granted with the provision of 22 parking spaces. These would continue to be provided.

As a standalone application a scheme for 4 flats in a medium accessibility area and the retained office space would create a total parking demand of 8 spaces. For which this proposal provides and complies with the adopted standard. If considered as a whole (26 flats) and Office a further 5 spaces for visitors would be required. However, visitors spaces are not deemed to be required in this instances as parking standards should not be retrospectively applied to an extant prior approval scheme and given the town centre location, where public visitor parking is available.

The site is within a sustainable location, with convenient access to local services and various forms of public transport. The County Highway Authority (CHA) has raised no objection with regard to parking or impact on highway safety. Sustainable travel will be encouraged through the provision of cycle storage facilities and electric vehicle charging points. A travel information pack, secured by condition, will notify residents of public transport opportunities and encourage their use. The majority of flats would be 1-bed and so have a lower demand for car ownership and overall the proposal is considered acceptable in this regard.

The site has been deemed acceptable with regards to flooding and drainage details can be secured by condition. There are opportunities to incorporate soft landscaping in to the scheme, which again can be secured by way of a condition.

In view of the above it is considered that the scheme would be acceptable with regard to its design and impact on the character of the wider area, impact on neighbouring amenity, parking and other highway matters, drainage and landscaping, in compliance with the relevant policies of the Reigate and Banstead Development Management Plan 2019 and National Planning Policy Framework 2021.

## **RECOMMENDATION(S)**

Planning permission is **GRANTED** subject to conditions.

## Consultations:

Highway Authority: The proposed development has been considered by the county highway authority who having considered any local representations and having assessed the application on safety, capacity and policy grounds, has raised no objections subject to the imposition of appropriate conditions and informatives.

Environment Agency (EA): The application has been assessed and the proposed development would be covered by the EA standing advice.

Surrey County Council Lead Local Flood Authority: No comments made on this application. Previous applications advised that a finalised drainage scheme can be secured by conditions and informative.

Surrey County Council Archaeological Officer: Although the site borders an Area of High Archaeological Potential, the construction of the current building will have disturbed any archaeological potential within its 'footprint. On the basis that the scheme would not result in new below ground disturbance no objection is raised.

Contaminated Land Officer: No objection subject to an informative advising the applicant of their responsibilities with regard to groundworks and the potential presence of contaminated land from previous historic uses.

## Representations:

Letters were sent to neighbouring properties on 26<sup>th</sup> April 2023. No comments have been received.

### 1.0 Site and Character Appraisal

- 1.1 The site is occupied by a three storey former office building on the corner of Bancroft Road and Roebuck Close within Reigate town centre. The building is currently vacant and dates from the mid-late 1980s. The design and appearance of the building is of its' period, featuring a mix of hipped roofs with pitched roof gables to the front and side elevations of the building.
- 1.2 The materials comprise multi-stock brickwork and plain tiles to the roof. The windows are UPVc with blue coloured plastic framing. The building features former office accommodation at the first and second floors, with a smaller single office unit on the ground floor fronting Bancroft Road and Roebuck Close. Existing parking is found on the ground floor underneath the building and spreading out to the rear.
- 1.3 The site benefits from the granting of permission via a prior approval application for the conversion of the upper floors in to 22 residential flats. Conversion works have commenced at the site.

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- 1.4 The site is within the town centre of Reigate, which is typically mixed in terms of land uses, featuring as it does a wide range retail and commercial services. The site is in a sustainable location, being in very close proximity to a number of bus stops with routes across and beyond the borough, as well as being less than 1 Km from Reigate train station. The site is within the Reigate Conservation Area and a primary shopping area.

## 2.0 Added Value

- 2.1 Improvements secured at the pre-application stage: Pre-application advice was not sought from the local planning authority prior to the submission of the application.
- 2.2 Improvements secured during the course of the application: Improvements have not been secured during the course of the application as the proposed development is considered to be acceptable.
- 2.3 Further improvements to be secured through the use of conditions: Further improvements could be secured by way of suitably worded conditions and informatives.

## 3.0 Relevant Planning and Enforcement History

- |     |                |  |   |
|-----|----------------|--|---|
| 3.1 | 21/01796/PAP3O | The proposals relate to all floors of the building currently in office use and are to change the use of those floors to provide 29 new flats comprising 23 one bedroom flats and 6 two-bedroom flats.  | Prior approval refused 23 <sup>rd</sup> August 2021           |
| 3.2 | 21/02800/PAP3O | Change of use of floorspace (on part of the ground floor and at first and second floor level) and land within its curtilage from Class E office use to 22 residential apartments (and associated car parking, cycle parking and bin storage) with a Class C3 dwellingshouse use.   | Prior approval not required<br>13 <sup>th</sup> December 2021 |
| 3.4 | 22/02391/F     | Full planning application for the partial infill of the existing undercroft car park to form five new apartments (2 x 2 Bed 4 Person and 3 x 1 Bed 2Person) together with waste and cycle storage, the addition of 8 new balconies at first floor level, the addition of a new front entrance from Roebuck Close to the existing | Refused 10th March 2023                                       |

ground floor office unit and the  
retention of 25 car parking spaces

3.3 The following application relates to Vale House Roebuck Close:

21/02082/PAP3O	Prior Approval pursuant to Schedule 2, Part 3, Class O of the Town and Country Planning (General Permitted Development) (England) Order 2015 (as amended) for change of use from offices (Use Class B1a) to residential (Use Class C3) to accommodate 42 residential units.	Prior approval not required 21 <sup>st</sup> September 2021
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#### 4.0 Proposal and Design Approach

4.1 This is a full application for the partial infill of the existing undercroft car park of Roebuck House to form five new apartments (2 x 2 Bed and 2 x 1 bed dwellings) together with waste and cycle storage, changes to the elevations in the form of the addition of new front entrances from Roebuck Close, a new entrance to the existing ground floor office unit and the retention of 30 car parking spaces.

4.2 It is proposed to retain the existing building at its current height and the form would remain largely unchanged. The upper floors have already been granted consent for conversion to residential use via a prior approval application 21/02800/PAP3O. The external staircase to the east side of the building would be retained.

4.3 The changes to the building would take place on the ground floor. It is proposed to retain the existing office to the north east corner of the ground floor. In addition, a portion of the ground floor would be turned over to residential use in the form of 4 flats. Two of these would address Roebuck Close, whilst the two remaining flats would be located to the rear of the building, along with the refuse storage area. Parking would be located to the rear and side, along with secure cycle storage, which would be behind the existing staircase. The two rear most flats would be separated from the parking area by small private patio areas, whilst the two flats to the front would also have small patios.

4.4 A design and access statement should illustrate the process that has led to the development proposal, and justify the proposal in a structured way, by demonstrating the steps taken to appraise the context of the proposed development. It expects applicants to follow a four-stage design process comprising:

- Assessment;
- Involvement;

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- Evaluation; and
- Design.

4.5 Evidence of the applicant’s design approach is set out below:

Assessment	<p>Roebuck House is described as being typical of many offices built in the area during the 1980s. The building adopts a common commercial vernacular style using traditional materials that is reasonably sympathetic to the wider town centre location.</p> <p>Red brick elevations are set above an arcaded ground floor that takes the form of a series of wide, shallow arches.</p> <p>The site is identified as being located within the Reigate Conservation Area. However, the site and the area to the north of Bancroft Road that includes the multistorey carpark, are outside of the CA the boundary of which runs along the western site boundary, demarcating the extent of the properties on the eastern side of Bell Street. The Chart Lane Conservation Area is identified as being located to the east of the site, which comprises the large open spaces of the playing fields and Reigate Cemetery to either side of Chart Lane itself.</p> <p>Five listed buildings, 37, 39, 41, 49 and 51 Bell Street are within the row of buildings that form the eastern side of Bell Street, three of which back on to the site.</p> <p>It is stated that in relation to the Reigate CA, the topography and street pattern of the town centre, together with the tight clustering of buildings ensure that Roebuck House remains relatively hidden within the fabric of the town.</p>
Involvement	It is not stated that community consultation took place.
Evaluation	The statement does not include any evidence of other development options being considered, however the application follows a previous proposal to develop the site further through the creation of an additional storey, as well as a refused scheme for 5 units to the ground floor.
Design	The proposal has been designed to work with the character and style of the existing building and reflect the character of the conservation area in terms of external elevational changes. The application seeks to address the reason for refusal of the previous application, which was refused on the grounds of insufficient parking provision.

4.6 Further details of the development are as follows:

Site area	0.15Ha
Existing use	Formerly Offices (Class E). Building currently being converted to residential use (Class C3).
Proposed use	Residential (C3) 4 flats
Existing parking spaces	51
Proposed parking spaces	30
Parking standard	DMP Accessibility Level - Medium Residential requirement – 4 Office Requirement – 1 space per 30sq. m (Max. Standards) 4 spaces required
Number of affordable units	0
Net increase in dwellings	4

## 5.0 Policy Context

### 5.1 Designation

Urban area  
Reigate Conservation Area  
Flood Zone 2  
Primary Shopping Area  
Air Quality Management Area  
Area of High Archaeological Potential  
Surface Water Flooding

### 5.2 Reigate and Banstead Core Strategy

CS1(Sustainable Development)  
CS4 (Valued Townscapes and Historic Environment)  
CS5 (Valued People/Economic Development),  
CS7 (Town/Local Centres),  
CS10 (Sustainable Development),  
CS11 (Sustainable Construction),  
CS14 (Housing Needs)  
CS15 (Affordable Housing)  
CS17 (Travel Options and accessibility)

### 5.3 Reigate & Banstead Development Management Plan 2019

Design, Character and Amenity (including housing)	DES1, DES2, DES4, DES5, DES6 DES8, DES9, DES10
Landscape & Nature Conservation	NHE3

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Heritage	NHE9
Employment	EMP4
Transport, Access and Parking	TAP1, TAP2
Climate Change Resilience and Flooding	CCF1, CCF2

## 5.4 Other Material Considerations

National Planning Policy Framework 2021

National Planning Practice Guidance

Supplementary Planning Guidance

Surrey Design  
Local Distinctiveness Design Guide  
Vehicle and Cycle Parking  
Guidance 2018  
Householder Extensions and Alterations  
Affordable Housing

Other

Human Rights Act 1998  
Community Infrastructure Levy  
Regulations 2010

## 6.0 **Assessment**

6.1 The application site is situated within the urban area where there is a presumption in favour of sustainable development and where the principle of such residential development is acceptable in land use terms. The existing building benefits from permission to convert the first and second floors into residential use (22 flats) therefore the principle of the conversion of the building to residential has been established. The acceptability of the proposal rests with considering whether the creation of five additional flats would be acceptable with regards to the design and the impact on the character of the street and wider conservation area, impact on neighbouring properties, amenity for future occupiers, highway and parking matters, flooding and drainage, landscaping improvements and other material considerations.

6.2 The main issues to consider are:

- Design appraisal
- Impact on Neighbouring amenity
- Amenity for future occupiers
- Highway matters
- Landscaping
- Flooding and Drainage
- Sustainability, Infrastructure and Climate Change



- Affordable Housing
- Community Infrastructure Levy
- Other matters

## Design appraisal

- 6.3 The site is located within the Reigate Conservation Area and is located on a visually prominent corner plot between Bancroft Road and Roebuck Close. The southern end of the building is also visible through gaps between buildings on Bell Street to the south west, a number of which are statutory listed. Therefore changes to the building have the potential to impact on the character and wider setting of the Conservation Area.
- 6.4 Paragraph 189 of the NPPF 2019 recognises that heritage assets are an irreplaceable resource and should be conserved in a manner appropriate to their significance, so that they can be enjoyed for their contribution to the quality of life of existing and future generations.
- 6.5 Paragraph 195 states that Local planning authorities should identify and assess the particular significance of any heritage asset that may be affected by a proposal (including by development affecting the setting of a heritage asset) taking account of the available evidence and any necessary expertise. They should take this into account when considering the impact of a proposal on a heritage asset, to avoid or minimise any conflict between the heritage asset's conservation and any aspect of the proposal. In determining applications, local planning authorities should take account of:
- a) the desirability of sustaining and enhancing the significance of heritage assets and putting them to viable uses consistent with their conservation;
  - b) the positive contribution that conservation of heritage assets can make to sustainable communities including their economic vitality; and
  - c) the desirability of new development making a positive contribution to local character and distinctiveness.
- 6.6 When considering the impact of a proposed development on the significance of a designated heritage asset, great weight should be given to the asset's conservation (and the more important the asset, the greater the weight should be). This is irrespective of whether any potential harm amounts to substantial harm, total loss or less than substantial harm to its significance (paras. 197-199).
- 6.7 Policy NHE9 of the Councils' Development Management Plan 2019 (DMP) states that development within or affecting the setting of a conservation area must preserve, and where possible, enhance the Conservation Area, paying particular regard to those elements that make a positive contribution to the character of the Conservation Area and its setting, and the special architectural or historic interest of the area.
- 6.8 In this instance it is not considered that the scheme would result in harm to the Conservation Area. The height, scale and overall form of the building

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would not be changing significantly, with the main changes being the addition of flats to part of the ground floor, involving the infilling of part of the existing undercroft parking.

- 6.9 The Conservation Officer commented on the previous application and raised no objection to the scheme, and recommended conditions to control materials, fenestration, the placement of solar panels and landscaping. The current application would appear very much the same as the previous submission in terms of design. The materials proposed would reflect those found within the wider area, as would the proposed windows, which would change from a blue colour to a darker black, which would be more sympathetic and in keeping with the Conservation Area. Additionally the existing blue external staircase to the south of the building, which at present detracts from the character of the area, would be conditioned to be painted black, which would be a considerable visual improvement.
- 6.10 The creation of four additional flats would see the partial infilling of existing open archways serving the existing ground floor parking area to create front entrances to two of the flats with small patio areas to the front. This would result in an obvious visual change from an office building to one that is clearly residential; however this change in character would not be harmful. The character of the road is already predominantly residential. The flats would be set in from the front elevation, with the form of the existing arches remaining, meaning the form would not be substantially changing.
- 6.11 A block of flats (Churchfield Court) is located opposite the site, and Vale House to the southern end of the road has also been granted consent via prior approval of the change of use from an office building to 42 flats. Therefore the character of the road is changing from one that is commercial to residential, and the appearance of the ground floor would not be harmful in this context. The existing ground floor office building on the corner of the road would be retained, thus part of the active ground floor frontage would be maintained. This would be appropriate given that Bancroft Road is more commercial in nature.
- 6.12 In summary the proposed changes to the building and addition of five additional flats would be acceptable and would not result in harmful impact on the character and appearance of the Conservation Area. The scheme is therefore considered to comply with the requirements of the NPPF and Policies DES1 and NHE9 of the DMP in terms of design.

## Neighbour amenity

- 6.13 The nearest residential properties to the site are found at Churchfield Court to the east, located diagonally opposite Roebuck House. There is a separation distance of 13m between these two buildings at the closest point, widening to 20m further to the south. The upper floors of Roebuck House have consent for conversion to residential. The proposed creation of flats to the ground floor would not give rise to harm to the amenity of these flats given the distance between opposing ground floors. The relationship would not be untypical of

residential properties facing each other on a residential street, therefore it is not felt that there would be harm in terms of overlooking or loss of privacy.

- 6.14 Vale House is located approx.35m to the south of the site. The location of the flats under the existing building would not give rise to amenity harm due to their position and distance from these flats.
- 6.15 RDO Kitchens, located to the west of the site, is an established retail unit. Given that the proposed development would take place within the envelope of the existing building, the proposed development would have a neutral impact on this property.
- 6.16 Roebuck House is currently vacant, therefore the increase in vehicular movements has the potential to generate noise and disturbance that could be harmful. However the former office use needs to be taken in to account when considering whether there would be harm in this regard. In this case the amount of parking would be less than that provided for the office, therefore a likely decrease in the number of vehicles entering and exiting the site. Therefore there would likely be a modest improvement. It is also the case that residential properties here are located within a town centre and in close proximity to Bancroft Road (A217), the main road through the town centre, which generates a significant amount of traffic and associated noise and disturbance. Within this wider context it is not considered there would be a harmful level of additional noise generated.
- 6.17 Taking in to account the above the proposed development would have an acceptable level of impact on the amenity of neighbouring properties and would comply with Policy DES1 in this regard.

### Amenity for future occupiers

- 6.18 It is a fundamental objective of planning policy and stated within the National Planning Policy Framework 2021 that we provide high quality housing that is well designed and built to a high standard. The advice is amplified further by policies DES2 and DES5 of the Development Management Plan, which requires developments to demonstrate that dwellings have been designed to ensure that a good standard of amenity for all existing and future occupants and meet the minimum relevant nationally described space standards and be arranged to ensure that habitable rooms are arranged to have an acceptable outlook and where possible receive direct sunlight. Policy DES2 requires developments to be designed to ensure a good standard of amenity for all existing and future occupants.
- 6.19 The application proposes an additional 4 flats (2x2 bed 4 person and 2x1 bed 2 person flats). A 2 bed 4 person flat requires 70 sqm of internal floorspace, whilst a 1 bed 2 person flat requires 50 sqm. Having considered the submitted plans each of the proposed flats would meet these requirements in terms of floorspace. Habitable rooms would be well served by appropriately placed windows that would allow for a reasonable amount of light and outlook

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for future occupants. Rooms would be well spaced and would not be awkwardly laid out or cramped.

- 6.20 Each of the flats would be provided with small patio areas to the front. There are a large number of flats throughout the town centre that do not have access to private outdoor amenity space therefore, whilst the patios would be relatively small, their provision would be viewed positively. The site is within easy walking distance to Priory Park, meaning opportunities for outdoor recreation are within close proximity.
- 6.21 In light of the above considerations the proposed flats are considered to provide an appropriate living environment for future occupants, in line with Nationally Described Space Standards and the requirements of Policies DES2 and DES5 of the DMP.

## Highway Matters

- 6.22 The site is located within an area of medium accessibility as defined within Annex 4 of the DMP. On this basis a total of 4 spaces would be required for the four additional flats. The extant scheme for 22 flats was approved with 22 spaces retained for the residential flats to the upper floors. Therefore in total 26 residential parking spaces would be required. In addition, 4 spaces would be required for the retained office, for which maximum standards are applied, meaning a total of 30 spaces would be required. The scheme proposes 26 spaces for all residential occupants, with a further 4 spaces retained for the office space. The scheme would therefore meet the required standards for parking.
- 6.23 The application should be considered upon the basis of the uplift in development rather than the total number of flats. If considered as a whole (26 flats) a further 5 spaces for visitors would be required. However, parking standards should not be retrospectively applied to an extant prior notification proposal that secured 22 flats and for which parking standards could not be applied under the terms of the General Permitted Development Order when it was consented.
- 6.24 Annex 4 of the DMP is clear that within and adjacent to town centres lower levels of parking will be expected, taking account of, amongst other things, public transport accessibility, walking and cycling accessibility and existing parking provision in the town centre.
- 6.25 Whilst the scheme would comply with the required parking standards, in this instance the site is also within highly sustainable location, which should be given considerable weight in considering whether any shortfall would be acceptable. The site is highly accessible by non-car modes of transport to key services such as food and non-food retail and education within 400m of the site. The nearest train station (Reigate) is 0.5km away and there are a number of bus stops within easy walking distance, including on the corner of Bancroft Road and Roebuck Close, with multiple routes across the borough and further afield.

- 6.26 The area surrounding the site has an extensive range of on-street parking restrictions including double yellow lines on Roebuck Close and Bancroft Road, meaning that no parking is allowed at any time where there are double yellow lines, and no parking is permitted Monday to Saturday 0800h and 1830h where there are single yellow lines. On this basis the County Highway Authority (CHA) have not raised concern that the development would result in impact on highway safety in terms of parking and/ or capacity grounds and therefore raise no objection.
- 6.27 It is noted that a parking space numbers 1 and 3 are marginally impeded by existing pillars as shown on plan AP261\_P101\_A. It is noted that these are existing parking spaces therefore the situation would not be changing, and these spaces have historically been occupied. Even if these spaces were considered impractical a shortfall of two spaces in such a highly accessible/ sustainable location would be acceptable.
- 6.28 All parking spaces would have access to a vehicle charging point and secure cycle storage for 30 bicycles will be provided. This would meet the Councils' standards and aims of encouraging more sustainable forms of travel.
- 6.29 Taking into account the above it is considered that the proposal would be acceptable with regards to parking provision, and it is not the view that the scheme would give rise to harm to the safe operation of the highway or result in unacceptable on-street parking. The scheme would therefore comply with Policy TAP1 of the DMP.

### Landscaping

- 6.30 At present, given the former office use, the site devoid of landscaping. It is felt that there is opportunity to incorporate some soft landscaping within the site, which would be appropriate given the change to a residential use, as well as the added benefit of improving the character of the street and surrounding area. Therefore a condition requiring the submission of a landscape scheme for approval prior to commencement of development would be included should planning permission be granted. Subject to compliance with this condition the proposal would be acceptable with regards to landscaping.

### Flooding and drainage

- 6.31 The site is located within flood zone 2. Parts of the site are subject to low risk surface water flooding (1-1000 years). A Flood Risk Assessment (FRA) has been submitted in support of the application, in which it is stated that the site is at medium risk of fluvial flooding (due to flood zone 2 location), and low risk of surface water, ground water and sewer flooding.
- 6.32 The mapping shows fluvial flood extents associated with the Wallace Brook 'main river', which flows in a westerly direction through the Reigate Memorial Gardens to a point approximately 50m east of the site where it is joined by an

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unnamed tributary from the south and then flows into a surface water sewer heading west below Roebuck Close and Reigate Priory Junior School.

- 6.33 The current EA Flood Zone information is based on indicative JFLOW hydraulic modelling. A detailed Flood Modeller Pro 1D – TUFLOW 2D hydraulic model of the Wallace Brook, unnamed tributary and surface water sewer into which they flow has been constructed by Waterman Infrastructure & Environmental Limited to improve the understanding of flood risk in this area. This modelling has been approved by the EA.
- 6.34 The 1% (100yr) AEP (current Flood Zone 3 equivalent) results of the study suggest that out of bank flows initially occur on the left bank of the Wallace Brook and travel through the Reigate Memorial Gardens to the right bank of the unnamed tributary and contributes to flows that breach the left bank of the tributary. Flood water then passes in a westerly direction across the southern end of Roebuck close (at the northern end of Vale House and to a lesser extent along Bancroft Road past the junction with Roebuck Close. Peak flood levels during this event are shown to reach 79.201m AOD along Roebuck Close before dropping to what is actually a greater depth but still under 200mm below a peak of 78.541m AOD along Bancroft Road.
- 6.35 With regard to fluvial flooding, Roebuck House is shown to be flood free in all modelled events, with flood depths of less than 200mm along Roebuck Close in 1% (100yr) AEP + 35% 'Higher Central' Climate Change 'design event. The approved detailed modelling assessment shows there is no significant risk to the site.
- 6.36 Regarding surface water flooding the EA's Surface Water Flood Risk mapping (Figure 8) shows the majority of the existing Roebuck House building footprint to be at no risk, with the rear car park at a 'low' risk from this source. While the Roebuck Close risk may be compounded by some additional rainfall run-off, these flows come from the south and this is largely as a result of the fluvial risk highlighted.
- 6.37 Regarding the risk from groundwater flooding the site lies in a highly urbanised area, largely surrounded by impermeable man-made surfaces that are likely to cap any potential emergence of ground water. The site is also shown to be on a local high point and on this basis there is considered to be at a low risk of groundwater emergence and flooding.
- 6.38 The Environment Agency has reviewed the application and has referred the Council' to its own standing advice for vulnerable developments. The FRA confirms that finished floor levels (FFL) would be greater than 300mm above 78.541m AOD peak design flood levels along Bancroft Road. The FRA also sets out further measures to be put in place, including the use of permeable materials, ground supported solid slab ground floors, and low permeability floor coverings, walls constructed of low water penetration materials.
- 6.39 Residents are able to sign up the EA Flood Alert service, and information on this can be provided to residents. Regarding access and egress in the event

that persons need to evacuate the building at the peak of a design flood event (when the building is shown to remain dry), a safe access and egress route exists north along Roebuck Close and right/east along Bancroft Road to completely dry land.

- 6.40 No development is proposed in any high risk areas (Flood Zone 3) that could influence any fluvial flooding elsewhere. Given there would be no change in impermeable surfacing it is not considered that the scheme would generate a greater increase in rainfall runoff rates will be no need to change the existing surface water drainage arrangement as a result of this development. A condition requiring the submission of details of the surface water drainage scheme would be secured by condition.
- 6.41 In view of the above the scheme is considered to be acceptable with regard to flooding and drainage matters and would comply with the requirements of the NPPF and Policy CCF2 of the DMP in this regard.

### Sustainability, infrastructure and climate change

- 6.42 Policy CCF1 of the Councils Development Management Plan 2019 seeks to ensure that all new development contributes to reducing carbon emissions. New development will be encouraged to incorporate passive and active energy efficiency measure and climate change resilience measures and renewable energy technologies. In order that the proposed development contributes to achieving these aims, in the event that planning permission were to be granted, conditions requiring demonstration that it will meet the national water efficiency standard of 110litres/person/day. A further condition requiring the provision of broadband connection, in accordance with Policy INF3 of the DMP 2019, would also be attached to any grant of planning permission.

### Affordable Housing

- 6.43 Core Strategy Policy CS15 and the Council's Affordable Housing SPD require financial contributions towards affordable housing to be provided on housing developments of 1-9 units. However, in November 2014, the Government introduced policy changes through a Written Ministerial Statement and changes to the national Planning Practice Guidance which restrict the use of planning obligations to secure affordable housing contributions from developments of 10 units or less. These changes were given legal effect following the Court of Appeal judgement in May 2016.
- 6.44 In view of this, and subsequent local appeal decisions which have afforded greater weight to the Written Ministerial Statement than the Council's adopted policy, the Council is not presently requiring financial contributions from applications such as this resulting in a net gain of 10 units or less. The absence of an agreed undertaking does not therefore warrant a reason for refusal in this case

### Community Infrastructure Levy (CIL)

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- 6.45 The Community Infrastructure Levy (CIL) is a fixed charge which the Council will be collecting from some new developments from 1 April 2016. It will raise money to help pay for a wide range of infrastructure including schools, roads, public transport and community facilities which are needed to support new development. This development would be CIL liable although, the exact amount would be determined and collected after the grant of planning permission.

## CONDITIONS

1. The development hereby permitted shall be begun before the expiration of three years from the date of this permission.

Reason: To comply with Section 91(1) of the Town and Country Planning Act 1990 as amended by Section 51 (1) of the Planning and Compulsory Purchase Act 2004.

2. The development hereby permitted shall be carried out in accordance with the following approved plans:

Plan Type	Reference	Version	Received
Elevation Plan	AP261_P113		31.03.2023
Section Plan	AP261_P112		31.03.2023
Elevation Plan	AP261_P111		31.03.2023
Elevation Plan	AP261_P110		31.03.2023
Roof Plan	P104		31.03.2023
Floor Plan	P103		31.03.2023
Floor Plan	AP261_P102		31.03.2023
Floor Plan	AP261_P101_A		31.03.2023
Elevation Plan	AP261_P021		31.03.2023
Elevation Plan	AP261_P020		31.03.2023
Existing Plans	AP261_P010		31.03.2023
Location Plan	AP261_P001		31.03.2023

Reason: To define the permission and ensure the development is carried out in accord with the approved plans and in accordance with National Planning Practice Guidance.

3. No development shall take place above slab level until written details of the materials to be used in the construction of the external surfaces, including fenestration and roof, have been submitted to and approved in writing by the Local Planning Authority, and on development shall be carried out in accordance with the approved details.

Reason: To ensure that a satisfactory external appearance is achieved for the development within the Reigate Conservation Area, with regard to Reigate



and Banstead Development Management Plan 2019 policies DES1 and DES9.

4. All windows to have equal sightlines with a casement in each opening.

Reason: To ensure that a satisfactory external appearance is achieved for the development within the Reigate Conservation Area, with regard to Reigate and Banstead Development Management Plan 2019 policies DES1 and DES9.

5. All infill and glazing to arches to be set back 2 bricks depth and all other windows and doors to be set back 1 brick depth.

Reason: To ensure that a satisfactory external appearance is achieved for the development within the Reigate Conservation Area, with regard to Reigate and Banstead Development Management Plan 2019 policies DES1 and DES9.

6. All photovoltaics or solar panels to be sited within the crown roof and lower than the lowest ridge of the crown roof.

Reason: To ensure that a satisfactory external appearance is achieved for the development within the Reigate Conservation Area, with regard to Reigate and Banstead Development Management Plan 2019 policies DES1 and DES9.

7. The external staircase shall be painted black and thereafter retained as such.

Reason: To ensure that a satisfactory external appearance is achieved for the development within the Reigate Conservation Area, with regard to Reigate and Banstead Development Management Plan 2019 policies DES1 and DES9.

8. No development shall commence on site until a scheme for the landscaping of the site including the retention of existing landscape features has been submitted to and approved in writing by the local planning authority. Landscaping schemes shall include details of hard and soft landscaping, including any tree removal/retention, planting plans, written specifications (including cultivation and other operations associated with tree, shrub, and hedge or grass establishment), schedules of plants, noting species, plant sizes and proposed numbers/densities and an implementation and management programme.

All hard and soft landscaping work shall be completed in full accordance with the approved scheme, prior to first occupation or within the first planting season following completion of the development hereby approved or in accordance with a programme agreed in writing with the local planning authority.

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All new tree planting shall be positioned in accordance with guidelines and advice contained in the current British Standard 5837. Trees in relation to construction.

Any trees shrubs or plants planted in accordance with this condition which are removed, die or become damaged or become diseased within five years of planting shall be replaced within the next planting season by trees, and shrubs of the same size and species.

Reason: To ensure good arboricultural and landscape practice in the interests of the maintenance of the character and appearance of the area and to comply with Reigate and Banstead Borough Development Management Plan 2019 policies NHE3, DES1 and DES3, and the recommendations within British Standards including BS8545:2014 and British Standard 5837:2012.

9. The development hereby approved shall not be first occupied unless and until space has been laid out within the site in accordance with the approved plan numbered AP261 P101 Rev A for vehicles to be parked and for vehicles to turn so that they may enter and leave the site in forward gear. Thereafter the parking /turning areas shall be retained and maintained for their designated purposes.

Reason: The above conditions are required in order that the development should not prejudice highway safety nor cause inconvenience to other highway users and to accord with the NPPF and Reigate and Banstead Development Management Plan policy TAP1.

10. The development hereby approved shall not be first occupied unless and until space has been laid out within the site, in accordance with the approved plan numbered AP261 P101 Rev A and named ground floor plan for cycles to be parked in a covered, secure and lit location. Thereafter the cycle parking area shall be retained and maintained for its designated purpose.

Reason: In order that the development promotes more sustainable forms of transport, and to accord with the NPPF and Reigate and Banstead Core Strategy 2014 Policy CS17.

11. The development hereby approved shall not be occupied unless and until the available parking spaces are provided with a fast charge socket (current minimum requirement: 7kw Mode 3 with Type 2 connector - 230 v AC 32 amp single phase dedicated supply) in accordance with approved plan numbered AP253 P101 Rev A.

Reason: In order that the development promotes more sustainable forms of transport, and to preserve the character of the Conservation Area, and to accord with the National Planning Policy Framework 2019 and Reigate and Banstead Core Strategy 2014 Policy CS17 and policy TAP1 and NHE9 of the Development Management Plan.

12. The development shall not be occupied until the refuse collection point has been provided in accordance with the approved plan numbered AP261 P101 Rev A and for refuse material taken to the edge of Roebuck Close on collection day in accordance with paragraph 3.12 of the transport statement dated March 2023.

Reason: To provide adequate waste facilities in the interests of the amenities of the area and to encourage recycling in accordance with the Development Management Plan 2019 policy DES1.

13. The development hereby permitted shall not commence until details of the design of a surface water drainage scheme have been submitted to and approved in writing by the local planning authority. The design must satisfy the SUDs Hierarchy and be compliant with the NPPF and accompanying PPG.

Reason: To ensure the development does not increase risk on or off site, in accordance with the requirements of the NPPF, PPG, and Reigate and Banstead Development Management Plan Policy CCF2.

14. The development hereby approved shall not be first occupied unless and until an Energy and Water Efficiency Statement has been submitted to and approved in writing by the Local Planning Authority. The Statement shall detail how the development will:

- a. Ensure that the potential water consumption by occupants of each new dwelling does not exceed 110 litres per person per day.

The development shall be carried out in accordance with the approved details and any measures specific to an individual dwelling(s) shall be implemented, installed and operational prior to its occupation.

Reason: To ensure that the development supports the efficient use of resources and minimises carbon emissions with regard to Policy CS10 of the Reigate & Banstead Core Strategy 2014 and Policy CCF1 of the Reigate & Banstead Development Management Plan 2019.

## INFORMATIVES

1. Your attention is drawn to the safety benefits of installing sprinkler systems as an integral part of new development. Further information is available at [www.firesprinklers.info](http://www.firesprinklers.info).
2. The applicant is encouraged to provide renewable technology within the development hereby permitted in order to reduce greenhouse gas emissions.
3. You are advised that the Council will expect the following measures to be included in the above CMS condition to control noise, pollution and parking:

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- (a) Work that is audible beyond the site boundary should only be carried out between 08:00hrs to 18:00hrs Monday to Friday, 08:00hrs to 13:00hrs Saturday and not at all on Sundays or any Public and/or Bank Holidays;
- (b) The quietest available items of plant and machinery should be used on site. Where permanently sited equipment such as generators are necessary, they should be enclosed to reduce noise levels;
- (c) Deliveries should only be received within the hours detailed in (a) above;
- (d) Adequate steps should be taken to prevent dust-causing nuisance beyond the site boundary. Such uses include the use of hoses to damp down stockpiles of materials, which are likely to generate airborne dust, to damp down during stone/slab cutting; and the use of bowsers and wheel washes;
- (e) There should be no burning on site;
- (f) Only minimal security lighting should be used outside the hours stated above; and
- (g) Building materials and machinery should not be stored on the highway and contractors' vehicles should be parked with care so as not to cause an obstruction or block visibility on the highway.

Further details of these noise and pollution measures can be obtained from the Council's Environmental Health Services Unit.

In order to meet these requirements and to promote good neighbourliness, the Council recommends that this site is registered with the Considerate Constructors Scheme - [www.ccscheme.org.uk/index.php/site-registration](http://www.ccscheme.org.uk/index.php/site-registration).

- 4. The developer is advised that as part of the detailed design of the highway works required by the above conditions, the County Highway Authority may require necessary accommodation works to street lights, road signs, road markings, highway drainage, surface covers, street trees, highway verges, highway surfaces, surface edge restraints and any other street furniture/equipment.
- 5. The developer is reminded that it is an offence to allow materials to be carried from the site and deposited on or damage the highway from uncleaned wheels or badly loaded vehicles. The Highway Authority will seek, wherever possible, to recover any expenses incurred in clearing, cleaning or repairing highway surfaces and prosecutes persistent offenders. (Highways Act 1980 Sections 131, 148, 149).
- 6. Section 59 of the Highways Act permits the Highway Authority to charge developers for damage caused by excessive weight and movements of vehicles to and from a site. The Highway Authority will pass on the cost of any excess repairs compared to normal maintenance costs to the applicant/organisation responsible for the damage.
- 7. It is the responsibility of the developer to ensure that the electricity supply is sufficient to meet future demands and that any power balancing technology is in place if required. Please refer to: <http://www.beama.org.uk/resourceLibrary/beama-guide-to-electric-vehicle->

infrastructure.html for guidance and further information on charging modes and connector types.

8. Notwithstanding any permission granted under the Planning Acts, no signs, devices or other apparatus may be erected within the limits of the highway without the express approval of the Highway Authority. It is not the policy of the Highway Authority to approve the erection of signs or other devices of a non-statutory nature within the limits of the highway.
9. The permission hereby granted shall not be construed as authority to obstruct the public highway by the erection of scaffolding, hoarding or any other device or apparatus for which a licence must be sought from the Highway Authority Local Highways Service
10. The applicant is expected to ensure the safe operation of all construction traffic in order to prevent unnecessary disturbance obstruction and inconvenience to other highway users. Care should be taken to ensure that the waiting, parking, loading and unloading of construction vehicles does not hinder the free flow of any carriageway, footway, bridleway, footpath, cycle route, right of way or private driveway or entrance. Where repeated problems occur the Highway Authority may use available powers under the terms of the Highways Act 1980 to ensure the safe operation of the highway.
11. If proposed works result in infiltration of surface water to ground within a Source Protection Zone the Environment Agency will require proof of surface water treatment to achieve water quality standards.
12. The applicant site is situated on or in close proximity to land that could be potentially contaminated by virtue of previous historical uses of the land. As a result there is the potential for a degree of ground contamination to be present beneath part(s) of the site. Groundworkers should be made aware of this so suitable mitigation measures and personal protective equipment measures (if required) are put in place and used. Should significant ground contamination be identified the Local Planning Authority should be contacted promptly for further guidance.

## **REASON FOR PERMISSION**

The development hereby permitted has been assessed against the NPPF 2021 and Development Management Plan policies DES1, DES2, DES5, DES8, DES9, NHE3, NHE9, TAP1, CCF1, CCF2, INF3 and material considerations, including third party representations. It has been concluded that the development is in accordance with the development plan and there are no material considerations that justify refusal in the public interest.

The Local Planning Authority has acted positively and proactively in determining this application by assessing the proposal against all material considerations, including planning policies and any representations that may have been received and

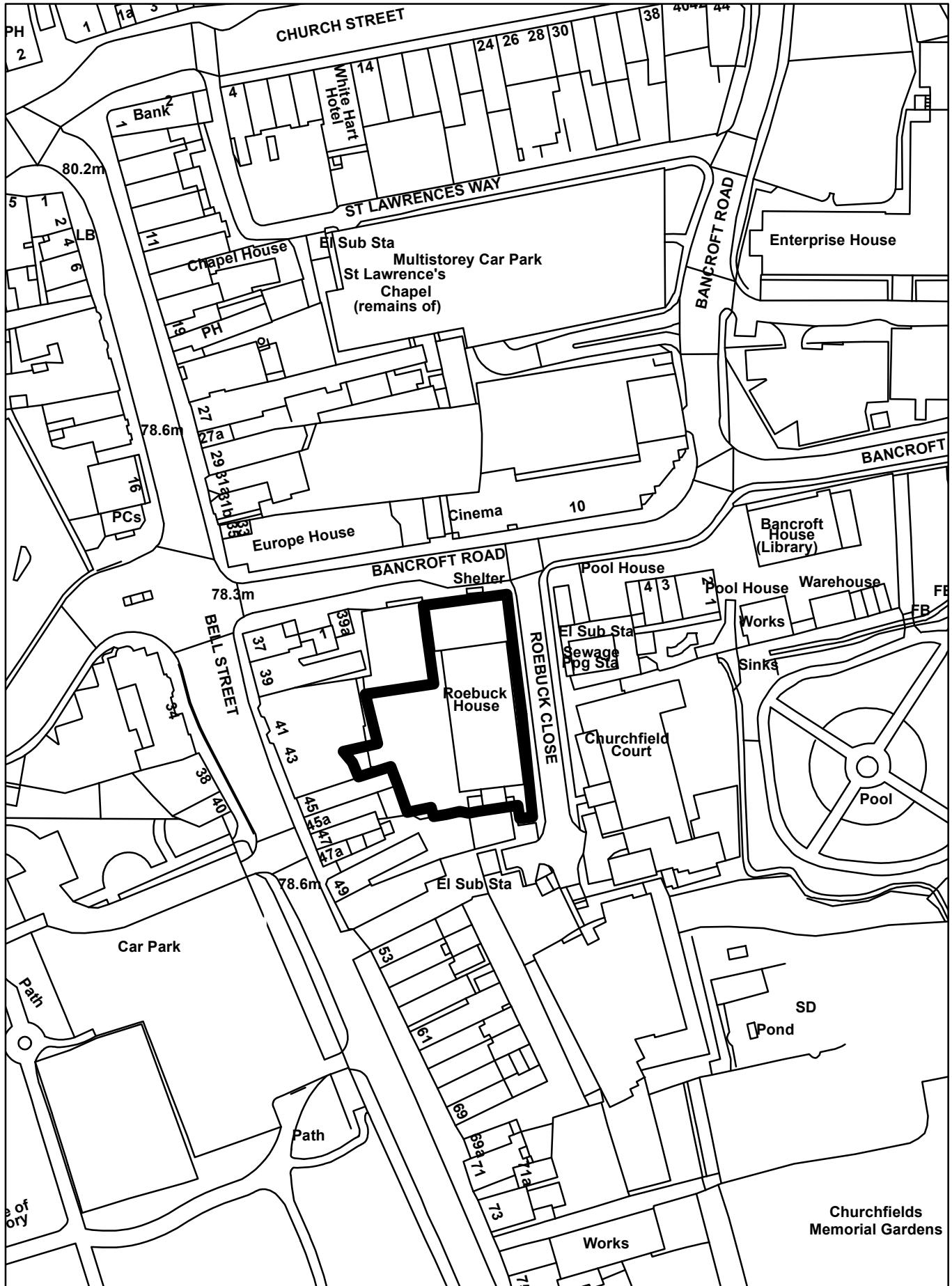
# Agenda Item 6

Planning Committee  
28<sup>th</sup> June 2023

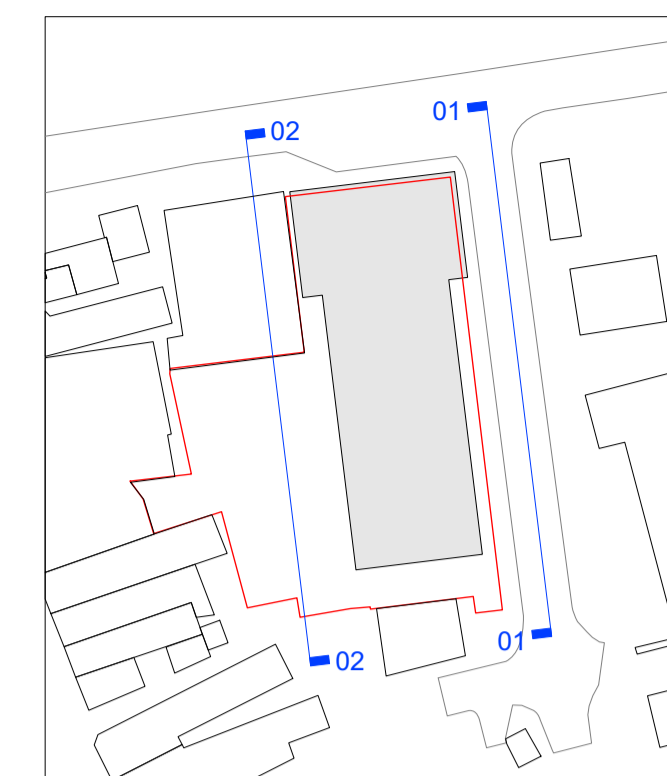
Agenda Item: 6  
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subsequently determining to grant planning permission in accordance with the presumption in favour of sustainable development where possible, as set out within the National Planning Policy Framework.

23/00654/F - Just Retirement, Roebuck House,  
Bancroft Road, Reigate







Materials Key

- 01 - Red brick facade within undercroft arches
- 02 - Aluminium framed entrance door and windows.
- 03 - Painted steel balustrade on top of stone coping & brick wall to private terrace

01  
02  
03

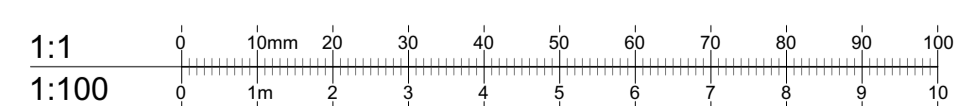


01 East Elevation

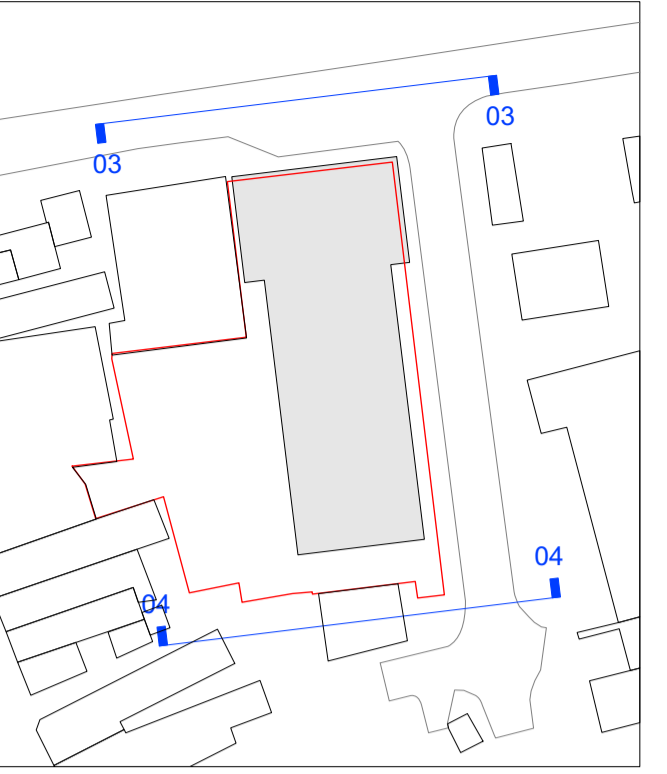
01  
02  
03



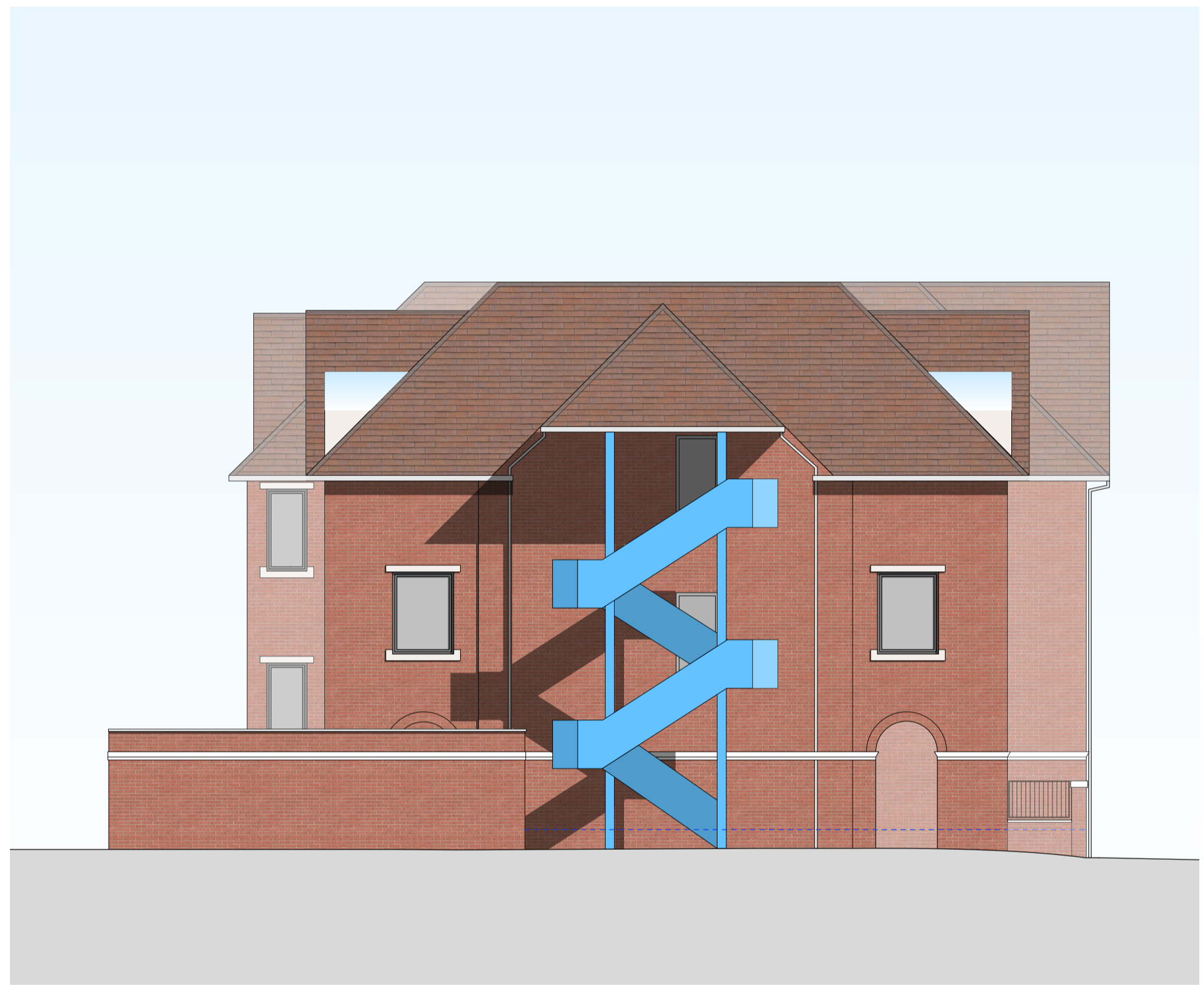
02 West Elevation







03 North Elevation (remains as existing)



04 South Elevation (remains as existing)

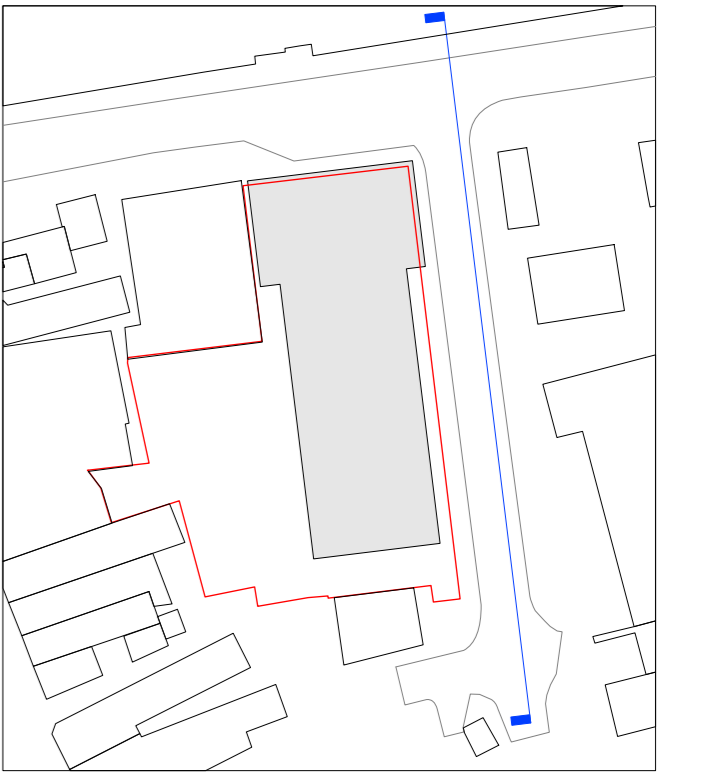
53

1:1 0 10mm 20 30 40 50 60 70 80 90 100  
 1:100 0 1m 2 3 4 5 6 7 8 9 10

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**Roebuck House, Reigate**  
 4 Apartments to Infill Undercroft Carpark

AP261\_P111 - Proposed Elevations 02  
 1:100@ A1  
 MARCH 2023



01 Existing Roebuck Close Elevation (east)



02 Proposed Roebuck Close Elevation (east)



+78.9

+79.2

RETAINED OFFICE SPACE

+79.1

GF 01  
77sqm

+79.5

GF 02  
72sqm

waste & recycling

GF 04  
51sqm

GF 03  
51sqm

new lobby

residential lobby/concierge

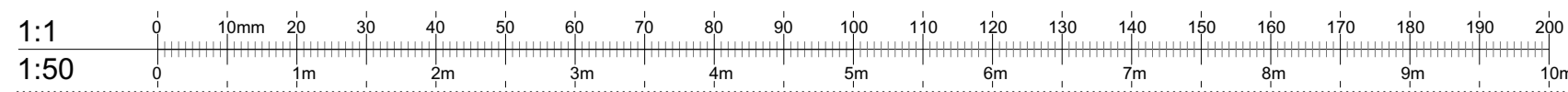
EVC

EVC

EVC

1 BED 2 PERSON FLAT

2 BED 4 PERSON FLAT

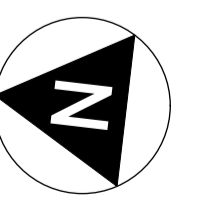


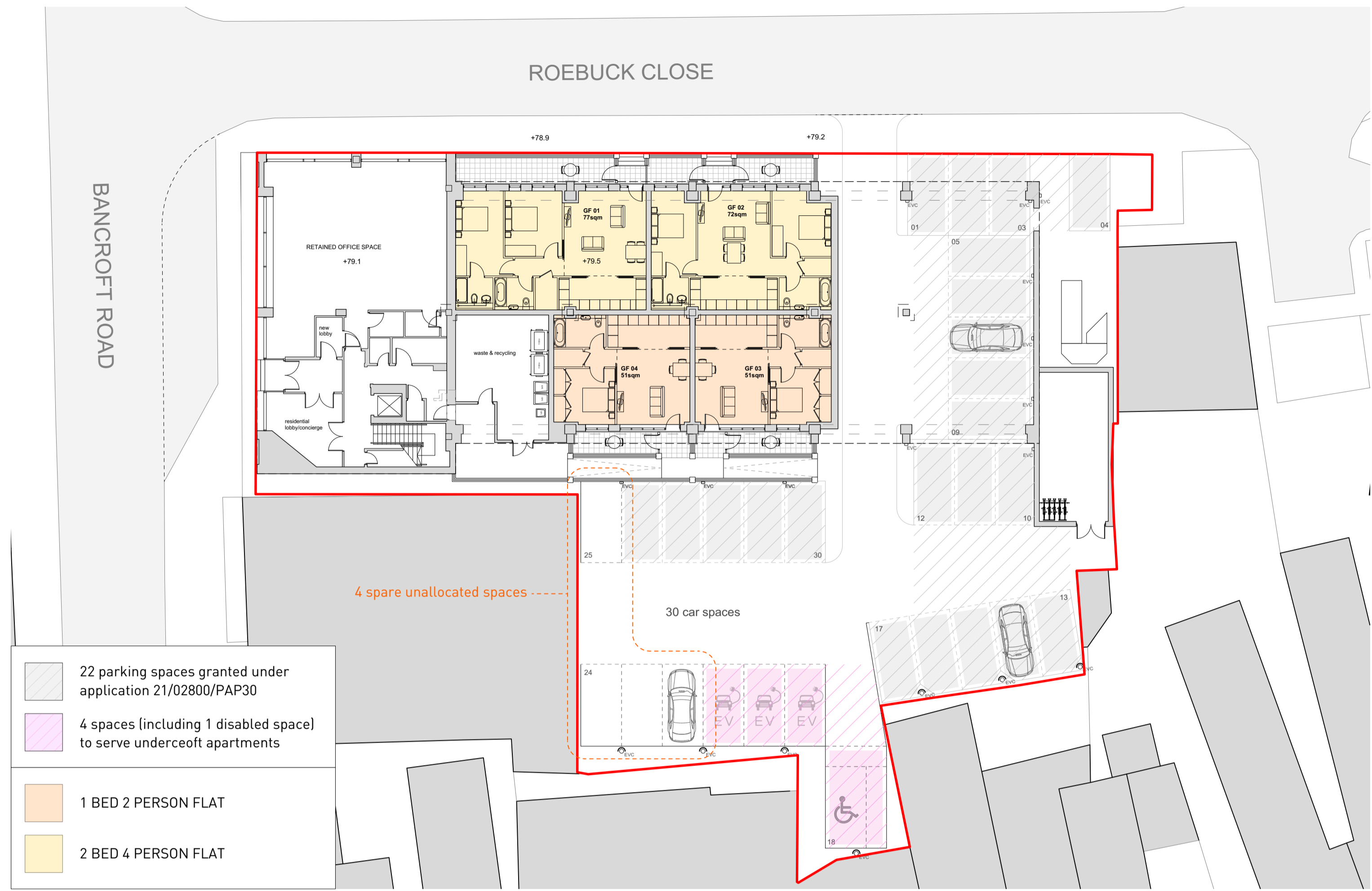
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Roebuck House, Reigate  
4 Apartments to Infill Undercroft Carpark

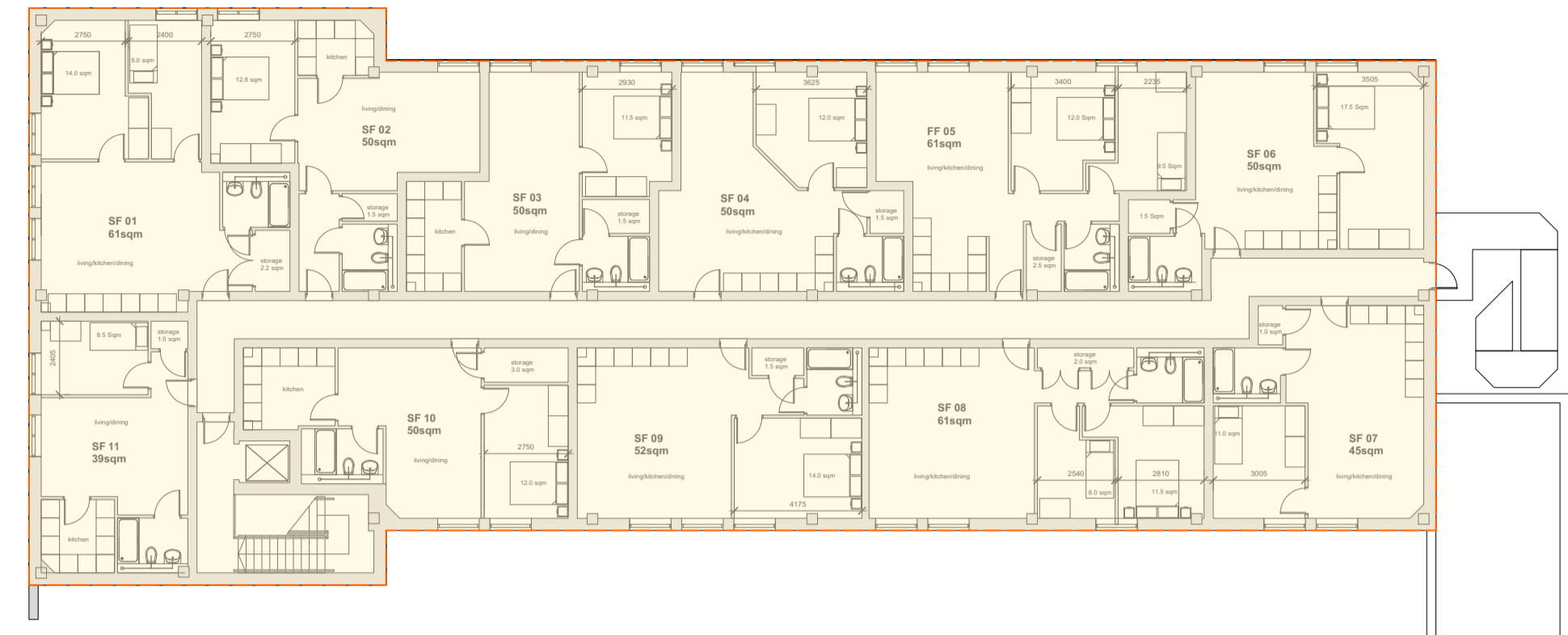
AP261\_P102 - Proposed Ground Floor

1:50B A1  
MARCH 2023

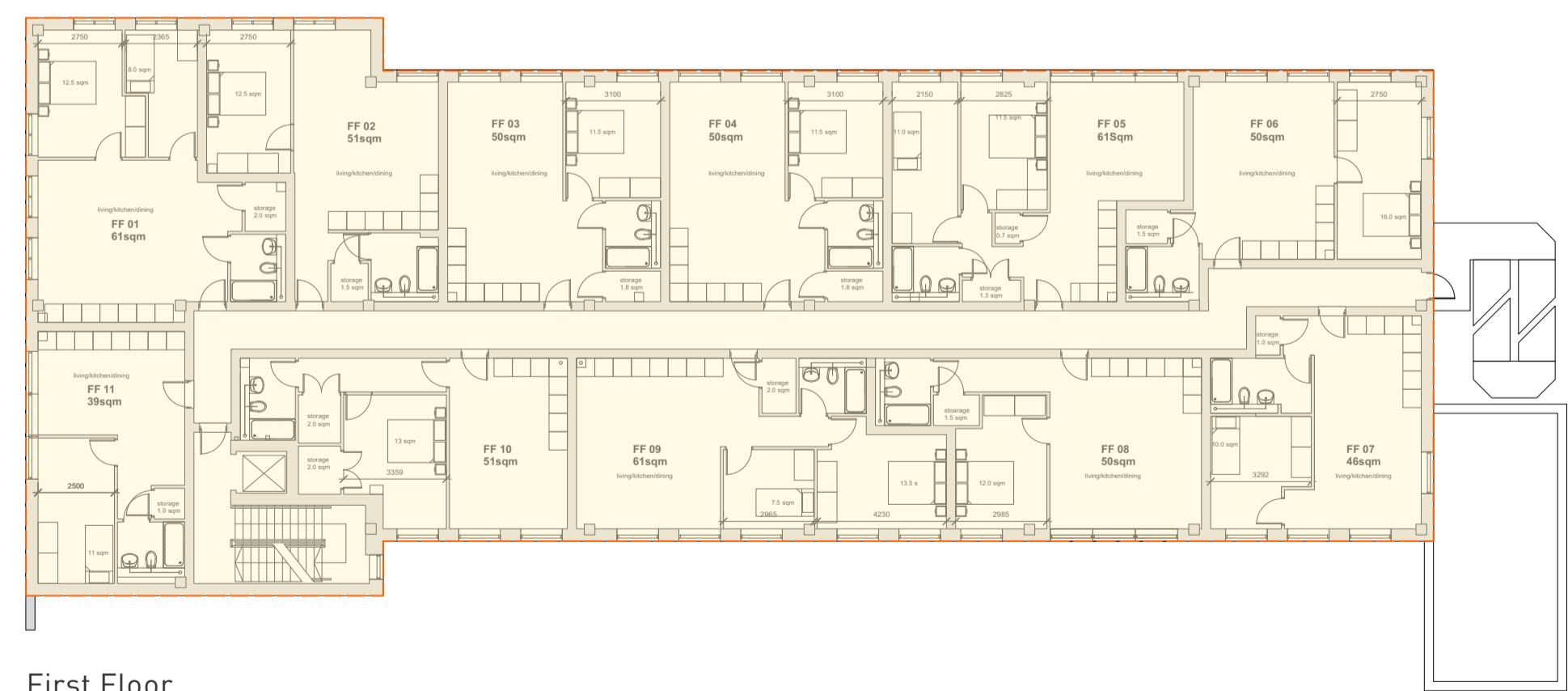




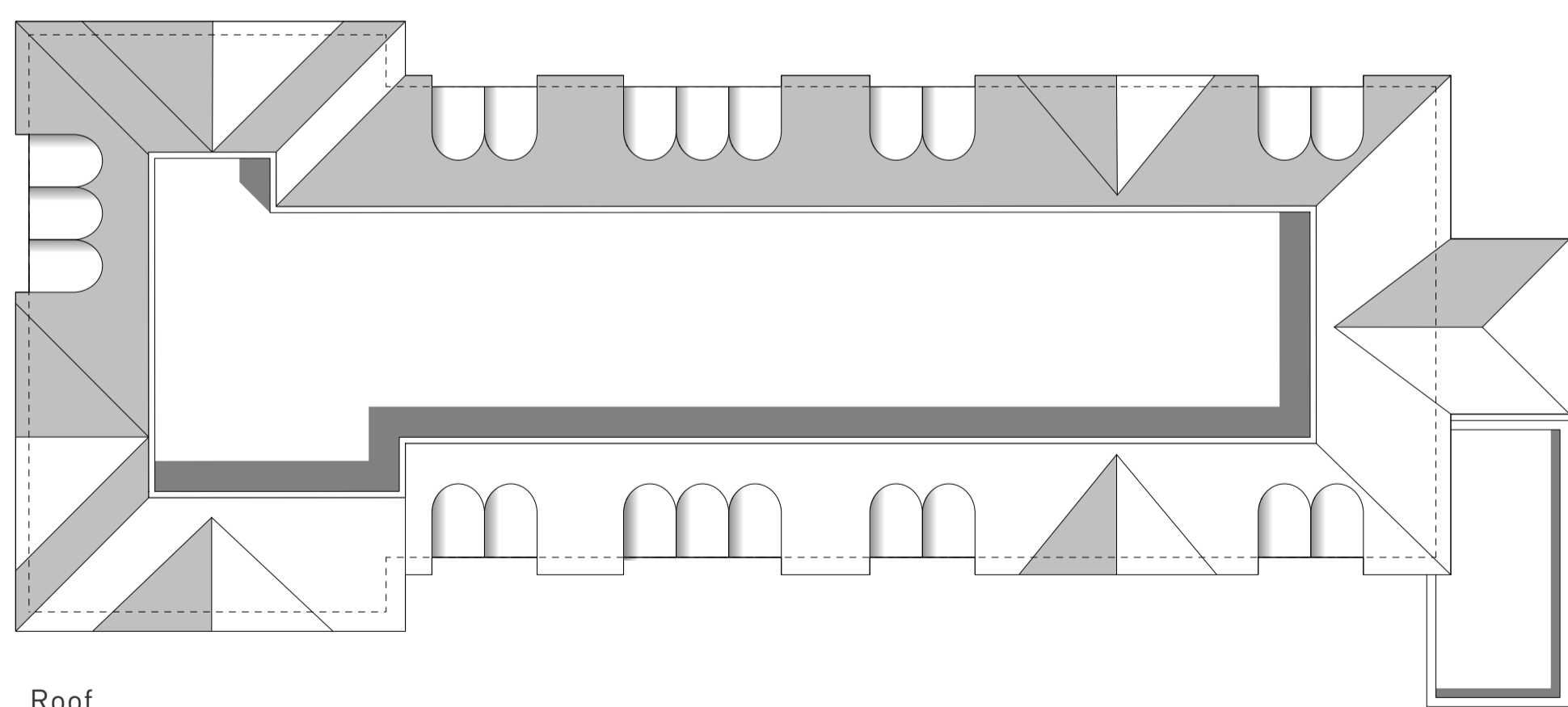
Ground Floor



Second Floor

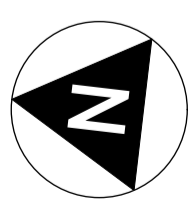


First Floor



Roof

RESIDENTIAL LAYOUTS APPROVED UNDER PERMITTED DEVELOPMENT



1:1  
1:200


architecture masterplanning urban design

Roebuck House, Reigate  
4 Apartments to Infill Undercroft Carpark

# Agenda Item 7

Planning Committee  
28<sup>th</sup> June 2023

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22/00654/F

 <b>Reigate &amp; Banstead</b> BOROUGH COUNCIL Banstead   Horley   Redhill   Reigate	<b>TO:</b>	PLANNING COMMITTEE	
	<b>DATE:</b>	28 <sup>th</sup> June 2023	
	<b>REPORT OF:</b>	HEAD OF PLANNING	
	<b>AUTHOR:</b>	Matthew Sheahan	
	<b>TELEPHONE:</b>	01737 276514	
	<b>EMAIL:</b>	Matthew.Sheahan@reigate-banstead.gov.uk	
<b>AGENDA ITEM:</b>	7	<b>WARD:</b>	CKW - Chipstead, Kingswood And Woodmansterne

<b>APPLICATION NUMBER:</b>	22/02835/F	<b>VALID:</b>	17/01/2023
<b>APPLICANT:</b>	Macar Bespoke (Whl) Limited	<b>AGENT:</b>	
<b>LOCATION:</b>	<b>JOSIL, WATERHOUSE LANE, KINGSWOOD, SURREY, KT20 6DT</b>		
<b>DESCRIPTION:</b>	<b>Demolition of existing house, erection of 1 no. detached house with 5 bedrooms and 2 no. semi-detached houses with 4 bedrooms with associated refuse storage and new landscaping; provision of two new vehicular accesses and closure of existing access. As amended on 03/02/2023.</b>		
<b>All plans in this report have been reproduced, are not to scale, and are for illustrative purposes only. The original plans should be viewed/referenced for detail.</b>			

## SUMMARY

This is a full application for the demolition of an existing detached dwelling and the erection of 1x detached 5 bed dwelling and a pair of semi-detached 2 bed dwellings to the north side of Waterhouse Lane in Kingswood. The site is currently occupied by a single detached dwelling within a large broadly rectangular plot and falls within the Alcocks Lane and Waterhouse Lane Residential Area of Special Character. The surrounding area is defined by large dwellings set generous sized plots with a predominance of vegetation although there are smaller plots within this part of the RASC.

The proposed dwellings would be of a traditional design in terms of their form and materials and would be commensurate in appearance and scale to other properties in the RASC. Whilst two of the dwellings would be semi-detached, they would appear as a large single dwelling with single, open frontage that would be similar in appearance to that of an extant scheme (22/00047/F) on the site for two detached dwellings. On this basis their appearance would be acceptable within the RASC.

The proposed dwellings would be an acceptable distance from neighbouring properties such that they would not give rise to harm to amenity. They would not be overbearing in nature or result in overshadowing, and any proposed side facing windows would be condition to be obscure glazed to avoid overlooking.

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Much of the existing soft landscaping would be retained and supplemented by additional planting in the form of native species. It is proposed to remove two prominent trees from the front boundary and other vegetation, however these would be replaced to maintain the soft frontage, and the predominance of soft landscaping would be maintained.

The site has not identified the presence of bats or other protected species, therefore the development would not harmfully impact the existing ecology of the site. Conditions to secure biodiversity enhancements/benefits would be included in the event of permission being granted.

Each of the proposed dwellings would be provided with two car parking spaces, which would meet the required residential parking standards. Further benefits in the form of cycle storage and electric charging points could also be secured by condition. The County Highway Authority has reviewed the application and considers that the access arrangements for each dwelling would be acceptable and would not give rise to harm to highway safety.

It is considered that the proposal would be an acceptable form of development within the RASC in terms of design, impact on neighbouring amenity, impact on trees and landscaping, ecology, parking and access, and is therefore recommended for approval.

## **RECOMMENDATION(S)**

Planning permission is **GRANTED** subject to conditions.

## Consultations:

Highway Authority: The proposed development has been considered by The County Highway Authority who, having assessed the application on safety, capacity and policy grounds, raise no objection subject to conditions and informatives relating to site lines, closure of the existing access, parking, construction management, and the provision of electric vehicle charging points.

Surrey Wildlife Trust: No objection subject to informatives in relation to breeding birds, lighting and biodiversity enhancements.

## Representations:

Letters were sent to neighbouring properties on 26<sup>th</sup> January 2023. Four representations have been received, including one on behalf of the Kingswood Residents Association, raising the following issues:

<b>Issue</b>	<b>Paragraph(s)</b>
Overdevelopment	Paragraph 6.4-6.9
Out of character with surrounding area	Paragraph 6.4-6.9
Overlooking and loss of privacy	Paragraph 6.10-6.13
Overshadowing	Paragraph 6.10-6.13
Inconvenience during construction	Paragraph 6.17-6.19
Increase in traffic and congestion	Paragraph 6.17-6.19
Loss of/harm to trees	Paragraph 6.20-6.21
Noise & disturbance	Paragraph 6.30
Loss of private view	Paragraph 6.31

## 1.0 Site and Character Appraisal

1.1 The site comprises a detached, two-storey house known as 'Josil', built in the late 1970s in a reasonably good-sized plot that once belonged to the garden of a property called 'Long Orchards' which is now a flatted building to the north. Josil has a chalet-style design which has been extended to the east side where there used to be a garage. The original stone clad walls have

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been rendered but the vertical timber cladding at first floor remains. The roof is finished in brown concrete profiled tiles.

- 1.2 There are mature trees and vegetation within and surrounding the site. The land slopes up from Waterhouse Lane and the curved driveway provides a wide access onto the road. The application site is within the Alcocks Lane and Waterhouse Lane Residential Area of Special Character (RASC), and this RASC is characterised by substantial sized dwellings set within large curtilages with mature gardens creating an impression of verdant soft, leafy landscapes including mature trees, shrubs and hedges.

## 2.0 Added Value

- 2.1 Improvements secured at the pre-application stage: Pre-application advice was not sought from the local planning authority prior to the submission of the application.
- 2.2 Improvements secured during the course of the application: Improvements have not been secured during the course of the application as the proposed development is considered to be acceptable.
- 2.3 Further improvements to be secured through the use of conditions: Further improvements could be secured by way of suitably worded conditions and informatives.

## 3.0 Relevant Planning and Enforcement History

- |     |            |   |                      |
|-----|------------|---|----------------------|
| 3.1 | 21/00656/F | The proposed development within this application is to remove the existing dwelling and redevelopment of the site as a residential scheme providing 2 five bedroom family homes set over two floors and integrated double garages.  | Refused 2 June 2022  |
| 3.2 | 22/00047/F | The proposed development within this application is to remove the existing dwelling and redevelopment of the site as a residential scheme providing 2, five bedroom family homes set over two floors with occupied roof spaces. As amended on 18/03/2022, 03/05/2022 and on 06/05/2022. | Approved 18 May 2022 |



## 4.0 Proposal and Design Approach

- 4.1 This is a full application for the demolition of an existing house and the erection of one detached 5 bed house and a pair of semi-detached 4 bed houses. The detached dwelling shall be referred to as House A and the semi-detached houses referred to as B and C.
- 4.2 House A would take on a traditional appearance, featuring as it does a broad hipped roof with gables of varying height to the principal elevation. Two small flat roof dormer windows would feature to the rear elevation. The dwelling would be maximum height of 9.4m accounting for the difference in ground level. The dwelling would be 15.2m in depth. Materials would be a mix of render to the rear and sides, whilst the principal elevation would be a mix of render and tile hanging with dark clay tiles to the roof. An integral garage would feature and an area of hardstanding for turning and parking to the front. There would be a private garden to the rear access from the house as well as a separate external access to the side. The footprint of the dwelling would be 4m from the west side boundary, with a gap of 4.6m with House B. The proposed garden would be approx. 11.5m in depth.
- 4.3 Houses B and C would also adopt a tradition appearance that would take the form of a larger single dwelling. A prominent pitched roof gable with catslide roof would feature to the principal elevation, which would be tile hung, with two small flat roof dormers to the front and rear elevations. The dwellings would be a maximum depth of 17.7m, and would be set further forward than House A. Again each house would have access to a private rear garden, with vehicle parking to the front. House C would have an attached single storey garage for a single vehicle. The footprint would be 3.7m from the shared side boundary (east) with the neighbouring property Highlands, which is at a lower ground level. The gardens would have a max. depth of 16.3m.
- 4.4 House A would have its' own vehicular access on to Waterhouse Lane, whilst Houses B and C would share a separate access. Replacement panting in the form of native trees and hedging would be set behind the widest point of the access. Additional new planting would feature throughout the site to supplement existing trees and trees/ landscaping removed from the site frontage.
- 4.5 It is proposed that the development be constructed in two phases, with House A being constructed separately to Houses B and C.
- 4.6 A design and access statement should illustrate the process that has led to the development proposal, and justify the proposal in a structured way, by demonstrating the steps taken to appraise the context of the proposed development. It expects applicants to follow a four-stage design process comprising:
- Assessment;
  - Involvement;
  - Evaluation;

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- Design.

4.7 Evidence of the applicant's design approach is set out below:

Assessment	A design and access statement has not been submitted that contains an assessment of the character of the area.
Involvement	It is not stated that community consultation took place.
Evaluation	It is not stated that other development proposals have been considered. The application follows a previous application for demolition of the existing dwelling and replacement with two dwellings, which was approved and the current proposals for would be similar in terms of visual appearance.
Design	The covering letter submitted in support of the application states that the footprint and design and House A is unchanged from the existing consent. The footprint and design of Houses B/C have followed the architecture of House B of the consented development, and largely replicates that appearance. Whilst the footprint is slightly deeper and very slightly wider, it remains well spaced from the adjoining neighbour and would not have any additional amenity impact.

4.8 Further details of the development are as follows:

Site area	0.18 Ha
Existing use	Residential (C3)
Proposed use	Residential (C3)
Existing parking spaces	2
Proposed parking spaces	6
Parking standard	DMP Accessibility Level - Medium 2 parking spaces required per dwelling, 6 required in total.
Number of affordable units	0
Net increase in dwellings	2

## 5.0 Policy Context

### 5.1 Designation

Urban area  
Alcocks Lane and Waterhouse Lane RASC  
Surface Water Flooding (Medium and Low)

## 5.2 Reigate and Banstead Core Strategy

CS1 (Sustainable Development)  
CS4 (Valued Townscapes and Historic Environment)  
CS10 (Sustainable Development),  
CS11 (Sustainable Construction),  
CS14 (Housing Needs)  
CS15 (Affordable Housing)  
CS17 (Travel Options and accessibility)

## 5.3 Reigate & Banstead Development Management Plan 2019

Design, Character and Amenity (including housing)	DES1, DES2, DES4, DES5, DES6 DES8, DES9, DES10
Landscape & Nature Conservation	NHE3
Transport, Access and Parking	TAP1, TAP2
Climate Change Resilience and Flooding	CCF1, CCF2

## 5.4 Other Material Considerations

National Planning Policy Framework  
2021

National Planning Practice Guidance

Supplementary Planning Guidance	Surrey Design Local Distinctiveness Design Guide Vehicle and Cycle Parking Guidance 2018 Householder Extensions and Alterations Affordable Housing
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Other	Human Rights Act 1998 Community Infrastructure Levy Regulations 2010
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## 6.0 **Assessment**

6.1 The application site is situated within the urban area where there is a presumption in favour of sustainable development and where the principle of such residential development is acceptable in land use terms. Permission has been granted under 22/00047/F for two detached properties on the site, which is a material matter in consideration of the current application.

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- 6.2 The acceptability of the proposal rests with considering whether the creation of three dwellings would be acceptable with regards to the design and the impact on the character of the street and wider RASC, impact on neighbouring properties, amenity for future occupiers, highway and parking matters, flooding and drainage, landscaping improvements and other material considerations.
- 6.3 The main issues to consider are:
- Design appraisal
  - Impact on Neighbouring amenity
  - Amenity for future occupiers
  - Highway matters
  - Trees and Landscaping
  - Ecology
  - Sustainability, Infrastructure and Climate Change
  - Affordable Housing
  - Community Infrastructure Levy
  - Other matters

## Design appraisal

- 6.4 The site is located within Alcocks Lane and Waterhouse Lane Residential Area of Special Character (RASC). This area is characterised by large dwellings of mostly traditional design, though there is some variation in appearance, as dwellings in RASCs tend to be individually designed, with a predominance of soft landscaping cover, particularly to the front of the plot. Plot sizes are generally large, however there is some variance, particularly Thirlmere House and Derwent House to the west, which were granted consent in in 2013, and the four dwellings occupying Garden Farm Close to the north-west of the site which were granted in 2012, having smaller plot sizes.
- 6.5 Planning permission was granted under application 22/00047/F for the demolition of the existing dwelling and erection of two detached dwellings. House A as currently proposed would be identical to that already approved under the above application in terms of its design, scale, materials, plot size and spacing, therefore given that the dwelling has been deemed acceptable in this location, there is no objection to this element.
- 6.6 Turning to Houses B and C it is noted that this will result in the subdivision of the approved plot to form two dwellings. However the two houses would appear as one large dwelling that is very similar to that already approved under the previous application, with the width of the main dwelling increasing by 2m, with a decrease in the width of the attached garage. It is also noted that the size of the gable to the principal elevation has been reduced under the current submission. The semi-detached pair would share an open frontage meaning overall the scheme would appear as two large dwellings

within the context of the street, which would be similar to that of the extant scheme.

- 6.7 It is noted that the design would feature flat roof dormer windows. Whilst these would not wholly comply with the Councils' design guidance for dormers, they would be small and proportionate to the size of the dwellings. It is also noted that there are other examples of similar windows with the wider RASC, most notably Garden Farm Close to the north-west.
- 6.8 The proposal, whilst retaining a significant amount of soft landscaping, would be supplemented by additional planting, particularly along the front boundary, which will develop and grow over time, ensuring that the verdant character of the RASC and plot frontage is maintained.
- 6.9 On the basis of the above it is considered that the scheme would be an acceptable form of development within the RASC and would not be harmful to the character or street scene of the surrounding area. The scheme would therefore comply with Policies DES1, DES3 and NHE3 of the Reigate and Banstead Development Management Plan 2019 (DMP).

### Neighbour amenity

- 6.10 The neighbour to the west at Thirlmere House is on higher ground than the proposed nearest house (house A), which would be set into the natural ground level. Although there would be a considerable addition of built-form alongside Thirlmere House, the impact would be diminished by the relative levels. The separation between the opposing flank elevations would be approximately 6.6m. Thirlmere House is arranged so that it has no main windows facing sideways towards Josil, and nor does it have front facing windows on the closest front projection. Consequently, there would be no harmful loss of light or outlook to any of the main amenity spaces at Thirlmere House. Furthermore, there is an existing belt of trees on the Thirlmere House side of the boundary which provide good screening. The proposed house would feature a side facing bathroom window; however this could be conditioned to be obscure glazed to ensure there would be no loss of privacy to Thirlmere House. Whilst noting that dormer windows would feature to the rear elevation, these would not result in significant opportunity for overlooking given the level of boundary screening along the shared boundary.
- 6.11 Houses B and C House B would be sited in closest proximity to the neighbouring property Hylands to the east. Hylands is positioned at a lower ground level to the application site and would be separated from the proposed dwelling by a detached single storey garage. House C would feature a single storey attached garage approx. 3.5m from the shared boundary. The main bulk of the proposed dwelling would be 6.6m from the boundary extending approx. 13m in to the rear. This would be an acceptable level of distance to avoid being overbearing in nature. Whilst the new dwelling would result in a degree of change in the relationship between the two properties, it is not the view that there would be undue harm to the amenity of the neighbour in this case.

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- 6.12 There would be a sufficient level of separation (in excess of 40m) between the proposed dwellings and the rear of Long Orchards, a flatted development to the north of the site. An existing belt of trees along the rear would largely be retained providing an element of screening between the two sites.
- 6.13 Taking in to account the above the proposed development would have an acceptable level of impact on the amenity of neighbouring properties and would comply with Policy DES1 in this regard.

## Amenity for future occupiers

- 6.14 It is a fundamental objective of planning policy and stated within the National Planning Policy Framework 2021 that we provide high quality housing that is well designed and built to a high standard. The advice is amplified further by policies DES2 and DES5 of the Development Management Plan, which requires developments to demonstrate that dwellings have been designed to ensure that a good standard of amenity for all existing and future occupants and meet the minimum relevant nationally described space standards and be arranged to ensure that habitable rooms are arranged to have an acceptable outlook and where possible receive direct sunlight. Policy DES2 requires developments to be designed to ensure a good standard of amenity for all existing and future occupants.
- 6.15 Each dwelling would be two storeys in height providing either 4 bedroom (max 124 sqm required) or five bedrooms (max 128sqm required). The proposed dwellings would exceed the requirements of the National Space Standards. The rooms would be laid out in such a way as to ensure that each would be well served by a window providing sufficient light and acceptable outlook. Rooms would be of a large size and the overall layout would allow for ease of movement throughout the house. The area is of a quiet residential character ensuring that there would not be significant disturbance of future occupiers by external noise. The garden to the rear of each dwelling would be of a good size, which would be reflective of other dwellings and developments within the RASC. It is considered that the proposed dwelling would comply with the requirements of policy DES5 of the Development Management Plan 2019 and National Standards for living space.
- 6.16 In light of the above considerations the proposed dwellings are considered to provide an appropriate living environment for future occupants, in line with Nationally Described Space Standards and the requirements of Policies DES2 and DES5 of the DMP.

## Highway Matters

- 6.17 The application site is located within an area of medium accessibility. Both a 4 and 5 bedroom dwelling in this location would be required to provide 2

parking spaces. On this basis a total of 6 spaces would be required, 2 per dwelling. Houses A and C would be provided with a garage. Whilst the garage for house C would not meet the minimum size standard for a garage as contained within Annex 4 of the DMP, there would be ample space in front of the dwelling to accommodate 2 spaces. All the proposed houses would meet the required parking standard. The proposal would therefore comply with Policy TAP1 in this regard.

- 6.18 The Highway Authority has reviewed the application and has raised no objection subject to conditions requiring the provision of visibility splays, the closure of the existing access, the provision of parking in accordance with the submitted plans, the carrying out of the development in accordance with the submitted construction transport management plan, and the provision of electric vehicle charging points for each dwelling.
- 6.19 Considering the above, the proposal would be acceptable with regards to parking provision, and it is not the view that the scheme would give rise to harm to the safe operation of the highway or result in unacceptable on-street parking. The scheme would therefore comply with Policy TAP1 of the DMP.

### Trees and Landscaping

- 6.20 There are no protected trees within the site, however it is noted that there is some mature vegetation along the front, side, and rear boundaries. It is proposed to remove a number of trees to the front and rear boundaries, including the mature Oak to the south-east corner of the site and a Corsican Pine to the front boundary. Both trees are reported as being in poor health, with limited life remaining. In order to compensate for the proposed tree removal it is proposed to incorporate replacement planting. The proposals submitted consist of a mixture of native species to the front boundary, with existing vegetation to the rear and side boundaries supplemented by new planting including orchard trees in the rear garden. Wildflower meadow and shrub planting would feature to the front. The variety and quantity of planting would be acceptable and provide an appropriate balance between soft landscaping and built form that would be appropriate within the RASC.
- 6.21 In view of the above the scheme is considered to be acceptable with regard to arboricultural matters and would comply with Policies NHE3 and DES3 of the DMP 2019.

### Ecology

- 6.22 Policy NHE2 of the DMP requires that throughout the borough development proposals will be expected to retain and enhance other valued priority habitats and features of biodiversity importance and be designed, wherever possible, to achieve a net gain in biodiversity. Where a development will impact on a priority habitat or species, or protected species, and mitigation cannot be provided on site in an effective manner, developers may be required to offset the loss by contributing to appropriate biodiversity projects elsewhere, in a location agreed with the Council.

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28<sup>th</sup> June 2023

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- 6.23 A preliminary ecology appraisal has been submitted in support of the application. Initial comments the potential for buildings on site to host active bat roosts. The report identified buildings with bat roosting suitability. Development as proposed at this site is expected to result in loss or disturbance to any active bat roosts and bats present, and so may be contrary to the above referenced legislation. The appraisal has been reviewed by Surrey Wildlife Trust (SWT) who recommended further presence/likely absence surveys were required. The report also identifies a number of trees (T1, T2, T3, T5 and G7) which have the potential to host roosting bats. These trees have not been assessed therefore it cannot be determined whether the scheme would have detrimental impact on roosting bats at the site. On this basis it was advised that roost assessments of trees should be carried out prior to determination of the application.
- 6.24 In response, the applicant confirmed that the required surveys had been carried out and were subsequently submitted for further review by SWT, who comment that the above referenced report appears appropriate in scope and methodology and has identified the likely absence of active bat roosts within the development site. It was therefore advised that bats do not appear to present a constraint to the proposed development. SWT advise that any works proceed in a precautionary manner, which will be emphasised within an informative. Additional informatives in relation to sensitive lighting, birds and biodiversity enhancements will also be included.
- 6.25 The scheme is considered acceptable with regard to biodiversity and impact on ecology and would therefore comply with Policy NHE2 of the DMP.

## Sustainability, infrastructure and climate change

- 6.26 Policy CCF1 of the Councils Development Management Plan 2019 seeks to ensure that all new development contributes to reducing carbon emissions. New development will be encouraged to incorporate passive and active energy efficiency measure and climate change resilience measures and renewable energy technologies. In order that the proposed development contributes to achieving these aims, in the event that planning permission were to be granted, conditions requiring demonstration that it will meet the national water efficiency standard of 110litres/person/day. A further condition requiring the provision of broadband connection, in accordance with Policy INF3 of the DMP 2019, would also be attached to any grant of planning permission.

## Affordable Housing

- 6.27 Core Strategy Policy CS15 and the Council's Affordable Housing SPD require financial contributions towards affordable housing to be provided on housing developments of 1-9 units. However, in November 2014, the Government introduced policy changes through a Written Ministerial Statement and changes to the national Planning Practice Guidance which restrict the use of planning obligations to secure affordable housing contributions from



developments of 10 units or less. These changes were given legal effect following the Court of Appeal judgement in May 2016.

- 6.28 In view of this, and subsequent local appeal decisions which have afforded greater weight to the Written Ministerial Statement than the Council's adopted policy, the Council is not presently requiring financial contributions from applications such as this resulting in a net gain of 10 units or less. The absence of an agreed undertaking does not therefore warrant a reason for refusal in this case

Community Infrastructure Levy (CIL)

- 6.29 The Community Infrastructure Levy (CIL) is a fixed charge which the Council will be collecting from some new developments from 1 April 2016. It will raise money to help pay for a wide range of infrastructure including schools, roads, public transport and community facilities which are needed to support new development. This development would be CIL liable although, the exact amount would be determined and collected after the grant of planning permission.

Other Issues

- 6.30 With regard to objections made on the grounds of increased noise and disturbance resulting from the development, it is not considered that the development of three dwellings would result in a substantial level of noise that would be untypical of a residential area. Statutory noise legislation is in place to deal with any unacceptable levels of noise disturbance.
- 6.31 Objection has also been raised on the grounds that the development would result in the loss of private view. This is not a material planning consideration that can be taken into account in the assessment of a planning application.

**CONDITIONS**

1. The development hereby permitted shall be begun before the expiration of three years from the date of this permission.

Reason: To comply with Section 91(1) of the Town and Country Planning Act 1990 as amended by Section 51 (1) of the Planning and Compulsory Purchase Act 2004.

2. The development hereby permitted shall be carried out in accordance with the following approved plans:

Plan Type	Reference	Version	Received
Site Layout Plan	22.073.001		17.01.2023
Floor Plan	22.073.002		17.01.2023

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Floor Plan	22.073.003		17.01.2023
Elevation Plan	22.073.004		17.01.2023
Elevation Plan	22.073.005		17.01.2023
Section Plan	22.073.006		17.01.2023
Site Layout Plan	22.073.100		17.01.2023
Floor Plan	22.073.101		17.01.2023
Floor Plan	22.073.103		17.01.2023
Elevation Plan	22.073.110		17.01.2023
Elevation Plan	22.073.111		17.01.2023
Section Plan	22.073.120		17.01.2023
Section Plan	22.073.121		17.01.2023
Street Scene	22.073.130		17.01.2023
Elevation Plan	22.073.113A		17.01.2023
Elevation Plan	22.073.112A		17.01.2023
Floor Plan	22.073.101A		03.02.2023
Site Layout Plan	22.073.100A		03.02.2023
Landscaping Plan	986-L-02		28.12.2022
Landscaping Plan	986-L-01	B	
Location Plan	00201		28.12.2022
Phasing Plan	22.073.000A		08.06.2022

Reason: To define the permission and ensure the development is carried out in accord with the approved plans and in accordance with National Planning Practice Guidance.

- The materials to be used in the construction of the external surfaces of the development shall be constructed in accordance with the materials as specified within the application and there shall be no variation without prior approval and agreement in writing with the Local Planning Authority.

Reason: To ensure that a satisfactory external appearance is achieved of the development with regard to Reigate and Banstead Development Management Plan 2019 policy DES1.

- No development shall commence including groundworks preparation and demolition until all related arboricultural matters, including arboricultural supervision, monitoring and tree protection measures are implemented in strict accordance with the approved details contained in the Tree Protection Plan compiled by SouthOaks Arboricultural Consultancy, dated 22<sup>nd</sup> December 2022.

Reason: To ensure good arboricultural practice in the interests of the maintenance of the character and appearance of the area and to comply with Reigate and Banstead Development Management Plan 2019 policies NHE3, DES1 and DES3 and the recommendations within British Standard 5837:2012 Trees in relation to design, demolition and construction.

- Notwithstanding the submitted plan numbered 2022/6985/001 Rev P1 no part of the development shall be occupied unless and until the proposed vehicular

accesses to Waterhouse Lane have been constructed and provided with a means at the back edge of the highway of preventing private water from entering the highway and sight lines of 43 metres to the north to a point no more than 0.5 metre into the carriageway edge from the nearside carriageway edge and sight lines of 43 metres to the middle of the carriageway to the south from a point 2.4 metres back into the accesses from the nearside carriageway edge in accordance with a scheme to be submitted to and approved in writing by the Local Planning Authority and thereafter the visibility zones shall be kept permanently clear of any obstruction over 0.6 metres.

Reason: The condition above is required in order that the development should not prejudice highway safety, nor cause inconvenience to other highway users, and to accord with the National Planning Policy Framework 2021 and Policy TAP1 Parking, access , and Servicing of the Reigate and Banstead Local Plan Development Management Plan September 2019.

6. Prior to the occupation of either phase 1 or phase 2 the existing access to the site shall be closed and the verge reinstated.

Reason: The condition above is required in order that the development should not prejudice highway safety, nor cause inconvenience to other highway users, and to accord with the National Planning Policy Framework 2021 and Policy TAP1 Parking, access , and Servicing of the Reigate and Banstead Local Plan Development Management Plan 2019.

7. The relevant phase of the development hereby approved shall not be first occupied unless and until space has been laid out within that phase of the site in accordance with the approved plans numbered 986 L 01 Rev B and 986 L 01 for vehicles to be parked and for vehicles to turn so that they may enter and leave the site in forward gear. Thereafter the turning areas shall be retained and maintained for their designated purpose.

Reason: The condition above is required in order that the development should not prejudice highway safety, nor cause inconvenience to other highway users, and to accord with the National Planning Policy Framework 2021 and Policy TAP1 Parking, access , and Servicing of the Reigate and Banstead Local Plan Development Management Plan 2019.

8. The development of either phase shall only be implemented in full accordance with the provisions set out within the approved Construction Traffic Management Plan (Ref6985/CTMP02) by RGP, dated March 2023.

Reason: The condition above is required in order that the development should not prejudice highway safety, nor cause inconvenience to other highway users, and to accord with the National Planning Policy Framework 2021 and Policy DES8 Construction Management of the Reigate and Banstead Local Plan Development Management Plan 2019.

9. The development of each phase hereby approved shall not be occupied unless and until the proposed dwelling of that phase is provided with a fast charge

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socket (current minimum requirement: 7kw Mode 3 with Type 2 connector - 230 v AC 32 amp single phase dedicated supply) in accordance with a scheme to be submitted to and approved in writing by the Local Planning Authority and thereafter retained and maintained for their designated purpose.

Reason: The condition above is required in order that the development should not prejudice highway safety, nor cause inconvenience to other highway users, and to accord with the National Planning Policy Framework 2021 and Policy CS17 (Travel Options and Accessibility).

10. The development shall be carried out in accordance with the mitigation measures set out within section 7 of the Preliminary Ecology Appraisal prepared by Ecology and Land Management (dated December 2022).

Reason: To ensure that any potential impact to protected species is adequately mitigated in accordance with the provisions of the National Planning Policy Framework and policy NHE2 of the Development Management Plan 2019.

11. The first floor windows in the east and west side elevations of House A of the development hereby permitted shall be glazed with obscured glass and shall be non-opening unless the parts of the window which can be opened are more than 1.7 metres above the floor of the room in which the window is installed and shall be maintained as such at all times.

Reason: To ensure that the development does not affect the amenity of the neighbouring property by overlooking with regard to Reigate and Banstead Development Management Plan 2019 policy DES1.

12. The development hereby approved shall not be first occupied unless and until an Energy and Water Efficiency Statement has been submitted to and approved in writing by the Local Planning Authority. The Statement shall detail how the development will:

Ensure that the potential water consumption by occupants of each new dwelling does not exceed 110 litres per person per day.

The development shall be carried out in accordance with the approved details and any measures specific to an individual dwelling(s) shall be implemented, installed and operational prior to its occupation.

Reason: To ensure that the development supports the efficient use of resources and minimises carbon emissions with regard to Policy CS10 of the Reigate & Banstead Core Strategy 2014 and Policy CCF1 of the Reigate & Banstead Development Management Plan 2019.

13. All dwellings within the development hereby approved shall be provided with the necessary infrastructure to facilitate connection to a high speed broadband. Unless otherwise agreed in writing with the Local Planning Authority, this shall include as a minimum:

- a) A broadband connection accessed directly from the nearest exchange or cabinet,
- b) Cabling and associated installations which enable easy access for future repair, replacement or upgrading.

Reason: To ensure that the development promotes access to, and the expansion of, a high quality electronic communications network in accordance with Policy INF3 of the Reigate & Banstead Development Management Plan 2019.

## INFORMATIVES

1. Your attention is drawn to the safety benefits of installing sprinkler systems as an integral part of new development. Further information is available at [www.firesprinklers.info](http://www.firesprinklers.info).
2. The applicant is encouraged to provide renewable technology within the development hereby permitted in order to reduce greenhouse gas emissions.
3. You are advised that the Council will expect the following measures to be included in the above CMS condition to control noise, pollution and parking:
  - (a) Work that is audible beyond the site boundary should only be carried out between 08:00hrs to 18:00hrs Monday to Friday, 08:00hrs to 13:00hrs Saturday and not at all on Sundays or any Public and/or Bank Holidays;
  - (b) The quietest available items of plant and machinery should be used on site. Where permanently sited equipment such as generators are necessary, they should be enclosed to reduce noise levels;
  - (c) Deliveries should only be received within the hours detailed in (a) above;
  - (d) Adequate steps should be taken to prevent dust-causing nuisance beyond the site boundary. Such uses include the use of hoses to damp down stockpiles of materials, which are likely to generate airborne dust, to damp down during stone/slab cutting; and the use of bowsers and wheel washes;
  - (e) There should be no burning on site;
  - (f) Only minimal security lighting should be used outside the hours stated above; and
  - (g) Building materials and machinery should not be stored on the highway and contractors' vehicles should be parked with care so as not to cause an obstruction or block visibility on the highway.Further details of these noise and pollution measures can be obtained from the Council's Environmental Health Services Unit.

In order to meet these requirements and to promote good neighbourliness, the Council recommends that this site is registered with the Considerate Constructors Scheme - [www.ccscheme.org.uk/index.php/site-registration](http://www.ccscheme.org.uk/index.php/site-registration).

4. The developer is advised that as part of the detailed design of the highway works required by the above conditions, the County Highway Authority may

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require necessary accommodation works to street lights, road signs, road markings, highway drainage, surface covers, street trees, highway verges, highway surfaces, surface edge restraints and any other street furniture/equipment.

5. The developer is reminded that it is an offence to allow materials to be carried from the site and deposited on or damage the highway from uncleaned wheels or badly loaded vehicles. The Highway Authority will seek, wherever possible, to recover any expenses incurred in clearing, cleaning or repairing highway surfaces and prosecutes persistent offenders. (Highways Act 1980 Sections 131, 148, 149).
6. Section 59 of the Highways Act permits the Highway Authority to charge developers for damage caused by excessive weight and movements of vehicles to and from a site. The Highway Authority will pass on the cost of any excess repairs compared to normal maintenance costs to the applicant/organisation responsible for the damage.
7. It is the responsibility of the developer to ensure that the electricity supply is sufficient to meet future demands and that any power balancing technology is in place if required. Please refer to: <http://www.beama.org.uk/resourceLibrary/beama-guide-to-electric-vehicle-infrastructure.html> for guidance and further information on charging modes and connector types.
8. Notwithstanding any permission granted under the Planning Acts, no signs, devices or other apparatus may be erected within the limits of the highway without the express approval of the Highway Authority. It is not the policy of the Highway Authority to approve the erection of signs or other devices of a non-statutory nature within the limits of the highway.
9. The permission hereby granted shall not be construed as authority to obstruct the public highway by the erection of scaffolding, hoarding or any other device or apparatus for which a licence must be sought from the Highway Authority Local Highways Service
10. The applicant is expected to ensure the safe operation of all construction traffic in order to prevent unnecessary disturbance obstruction and inconvenience to other highway users. Care should be taken to ensure that the waiting, parking, loading and unloading of construction vehicles does not hinder the free flow of any carriageway, footway, bridleway, footpath, cycle route, right of way or private driveway or entrance. Where repeated problems occur the Highway Authority may use available powers under the terms of the Highways Act 1980 to ensure the safe operation of the highway.
14. Biodiversity enhancements – with regard to condition 8 the Council expects the applicant to provide an appropriately detailed document to demonstrate that a measurable net gain (not just compensation), secure for the life time of the development, is achievable. The applicant may wish to use an

appropriate metric such as the DEFRA Biodiversity Metric 2.0 to demonstrate how the site will provide biodiversity net gain. If net gain cannot be met this must be fully justified.

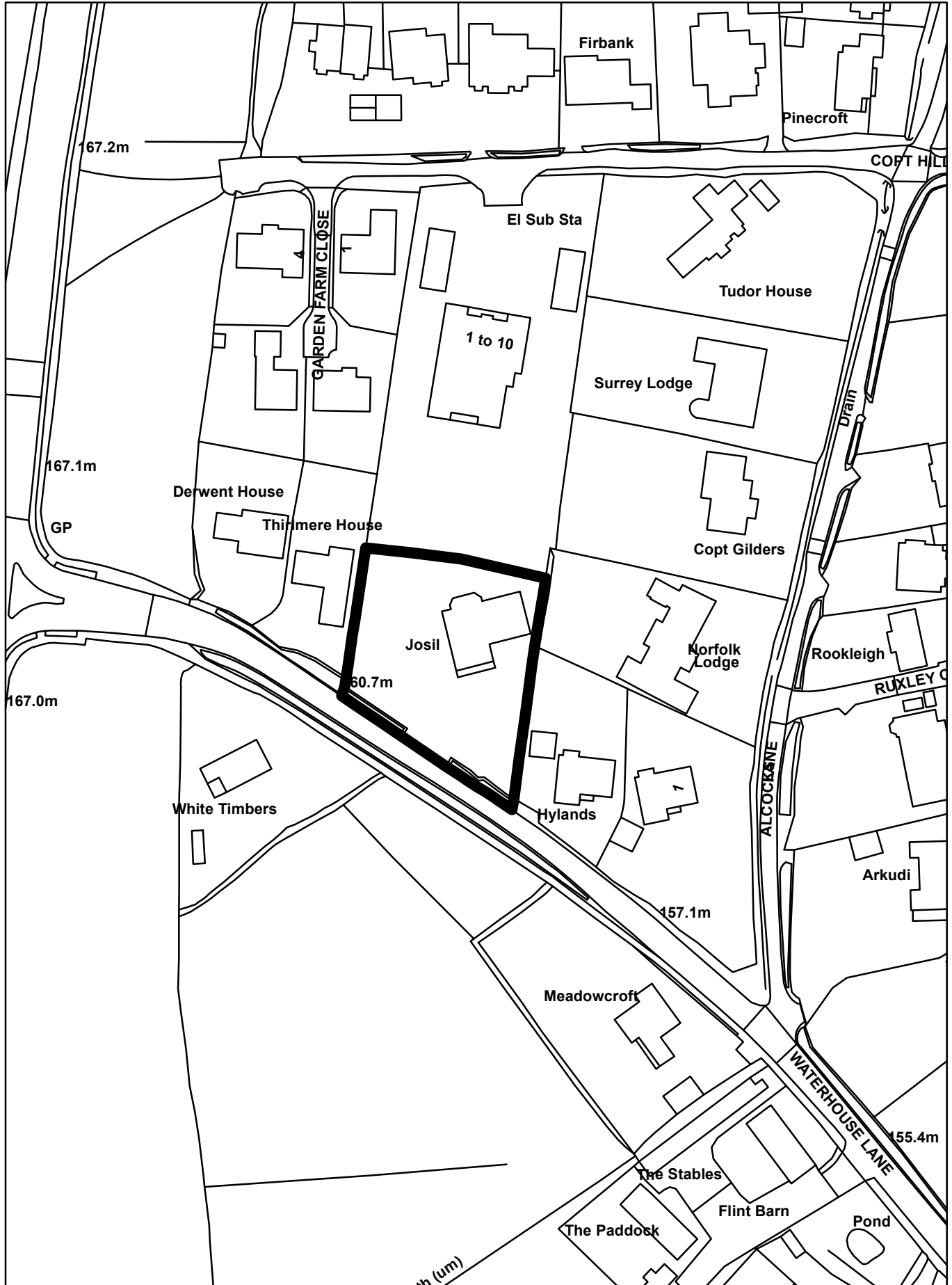
15. Works affecting any of the features identified as potentially suitable for roosting bats should be undertaken carefully and by hand, to ensure that if any bats are sheltering beneath them they will not be harmed. If a bat or evidence of bats is seen work should cease immediately and advice sought from Natural England or a qualified specialist.
16. A net increase in external artificial lighting should be avoided and where lighting is required this should be designed sensitively. In order to comply with above-referenced legislation, any external lighting installed on this development should comply with the recommendations of Section 5.2.8 of the above referenced 'Preliminary Ecological Appraisal' and the Bat Conservation Trusts' document entitled 'Bats and Lighting in the UK - Bats and the Built Environment Series'.
17. The Council is encouraging the developer to incorporate planting and measures to encourage biodiversity and wildlife and allow wildlife to move into and out of gardens and, in particular, include Hedgehog friendly gravel boards where appropriate. Details of the 'wildlife friendly' measures should be provided with the submission of the details for approval.

## **REASON FOR PERMISSION**

The development hereby permitted has been assessed against the NPPF 2021 and Development Management Plan policies DES1, DES2, DES5, DES8, DES9, NHE3, NHE9, TAP1, CCF1, CCF2, INF3 and material considerations, including third party representations. It has been concluded that the development is in accordance with the development plan and there are no material considerations that justify refusal in the public interest.

The Local Planning Authority has acted positively and proactively in determining this application by assessing the proposal against all material considerations, including planning policies and any representations that may have been received and subsequently determining to grant planning permission in accordance with the presumption in favour of sustainable development where possible, as set out within the National Planning Policy Framework.

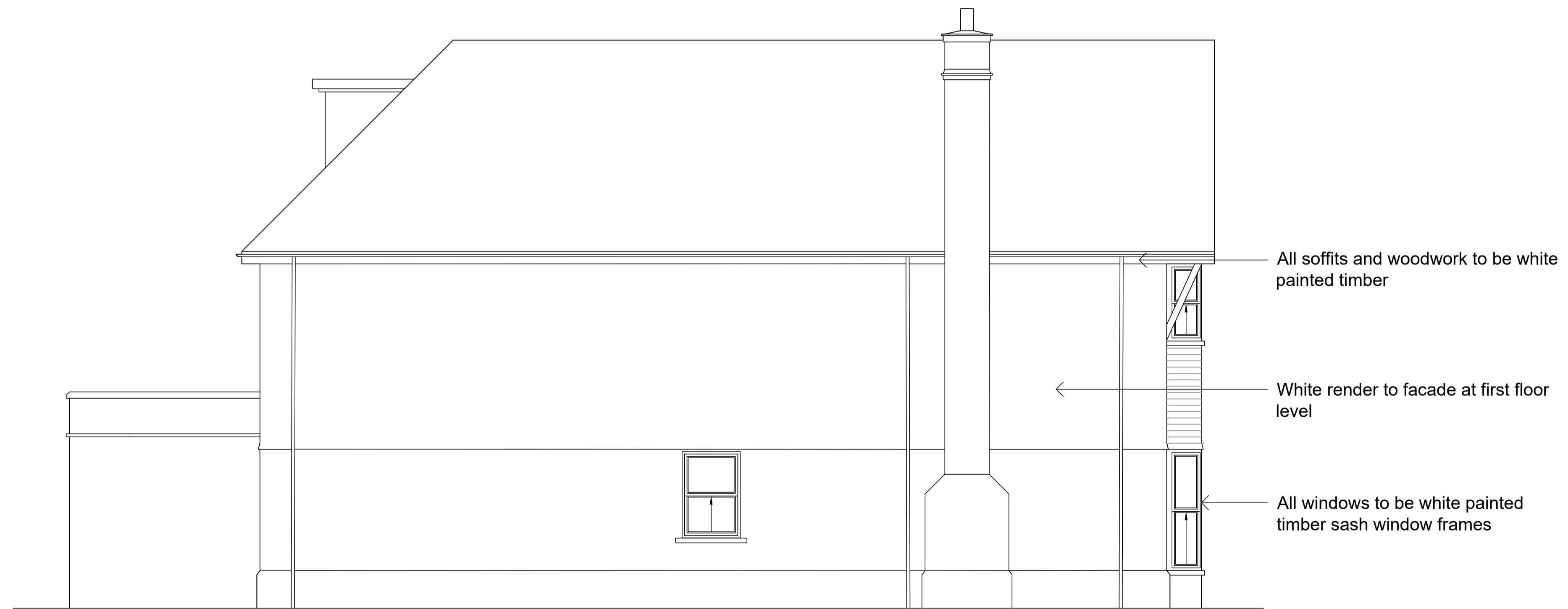
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22/02835/F - Josil, Waterhouse Lane, Kingswood







Proposed East Elevation



Proposed West Elevation

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Planning

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<p>KEY</p>	

Harp & Harp Ltd.

CLIENT	Macar Developments	
ADDRESS	Josil, Waterhouse Lane, Kingswood	
SCALE	SCALE BAR 1:50 @ A1	
DRAWING TITLE	House B and C Proposed Elevations East and West	
DWG NO.	DRAWN:	DATE:
22.073.113A	SH CHECKED: KH	NOV 22

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Proposed North Elevation



Proposed South Elevation

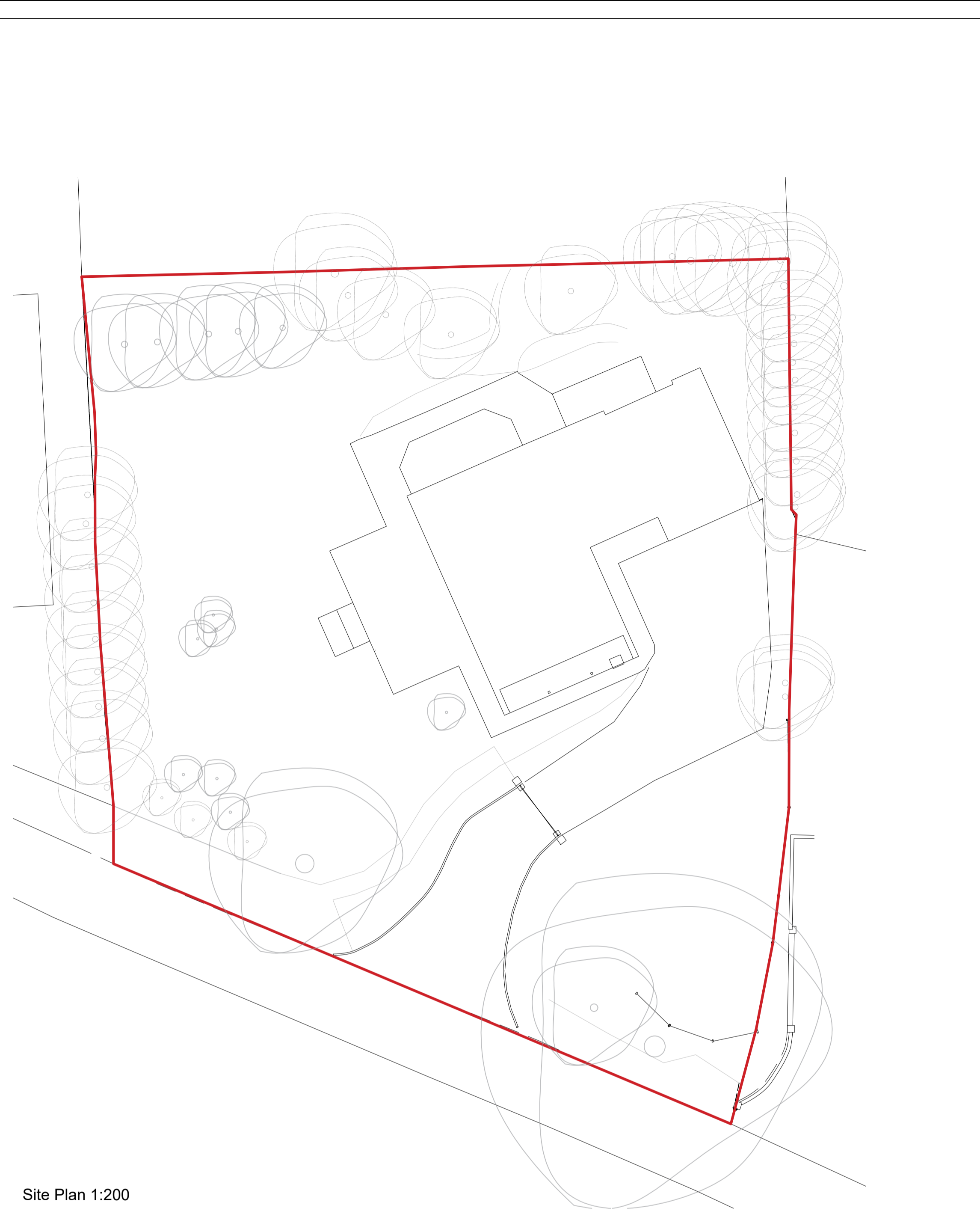
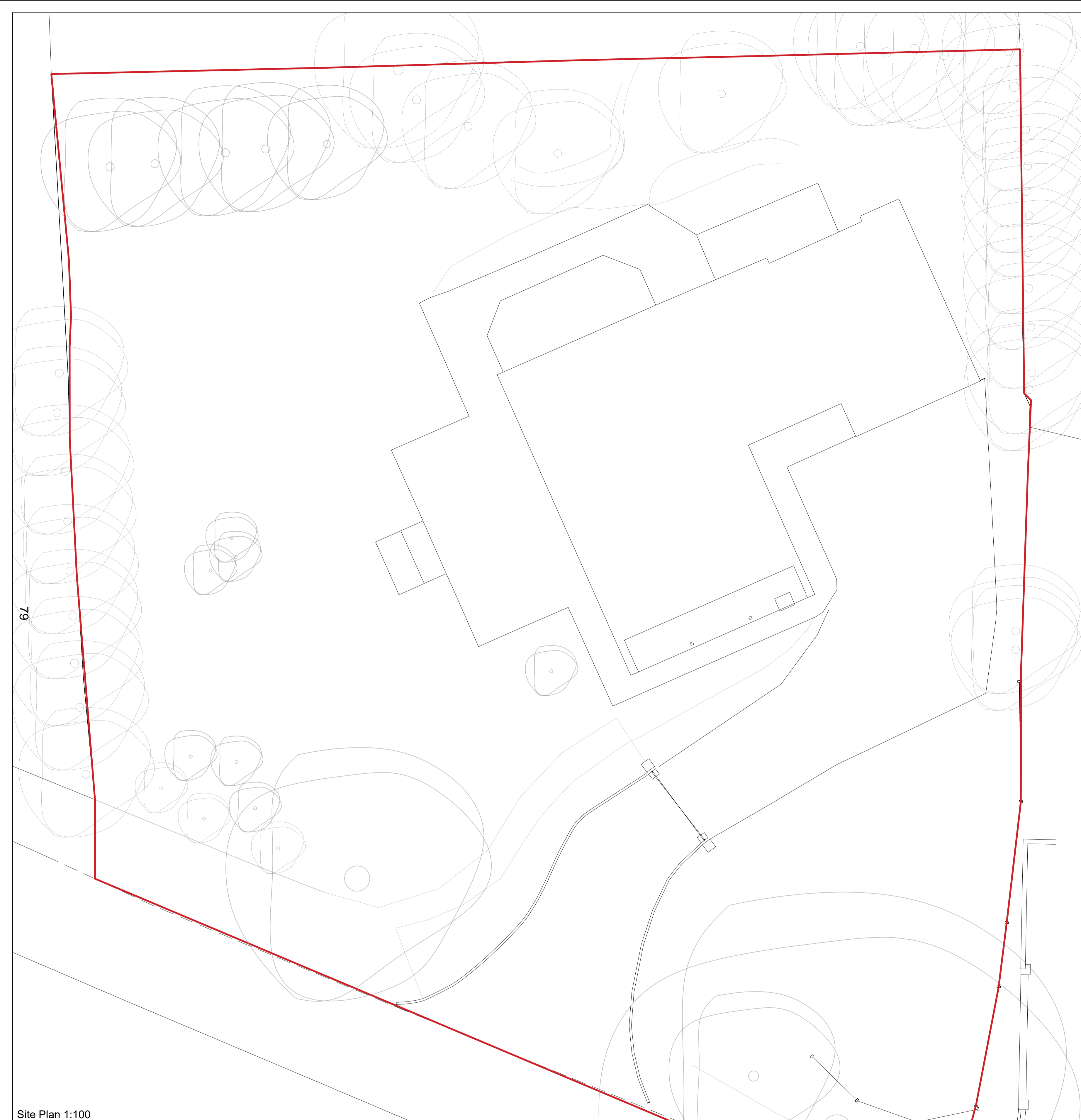
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### Planning

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<p>KEY</p>	

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CLIENT	Macar Developments	
ADDRESS	Josil, Waterhouse Lane, Kingswood	
SCALE	SCALE BAR 1:50 @ A1	
DRAWING TITLE	House B and C Proposed Elevations North and South	
DWG NO.	DRAWN:	DATE:
22.073.112A	SH CHECKED: KH	NOV 22



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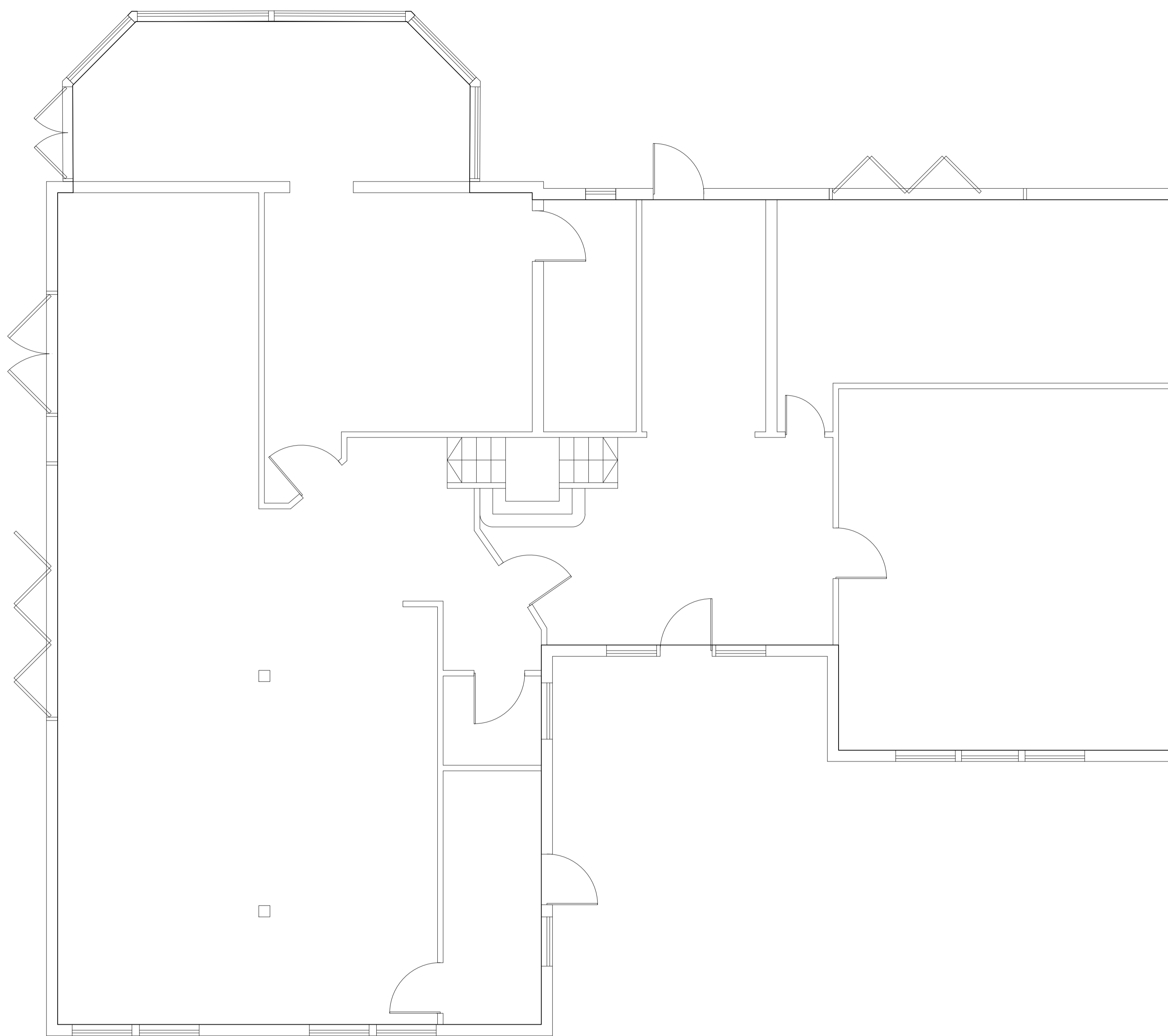
Site Plan 1:200

Planning

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<p>KEY</p> <p>Site Boundary <span style="color: red;">—</span></p>	

Harp & Harp Ltd.

CLIENT	Macar Developments	
ADDRESS	Josil, Waterhouse Lane, Kingswood	
SCALE	1:100 @ A1	SCALE BAR
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DRAWING TITLE	Existing Site Plan	
DWG NO.	DRAWN:	DATE:
22.073.001	SH	NOV 22
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Existing Ground Floor Plan

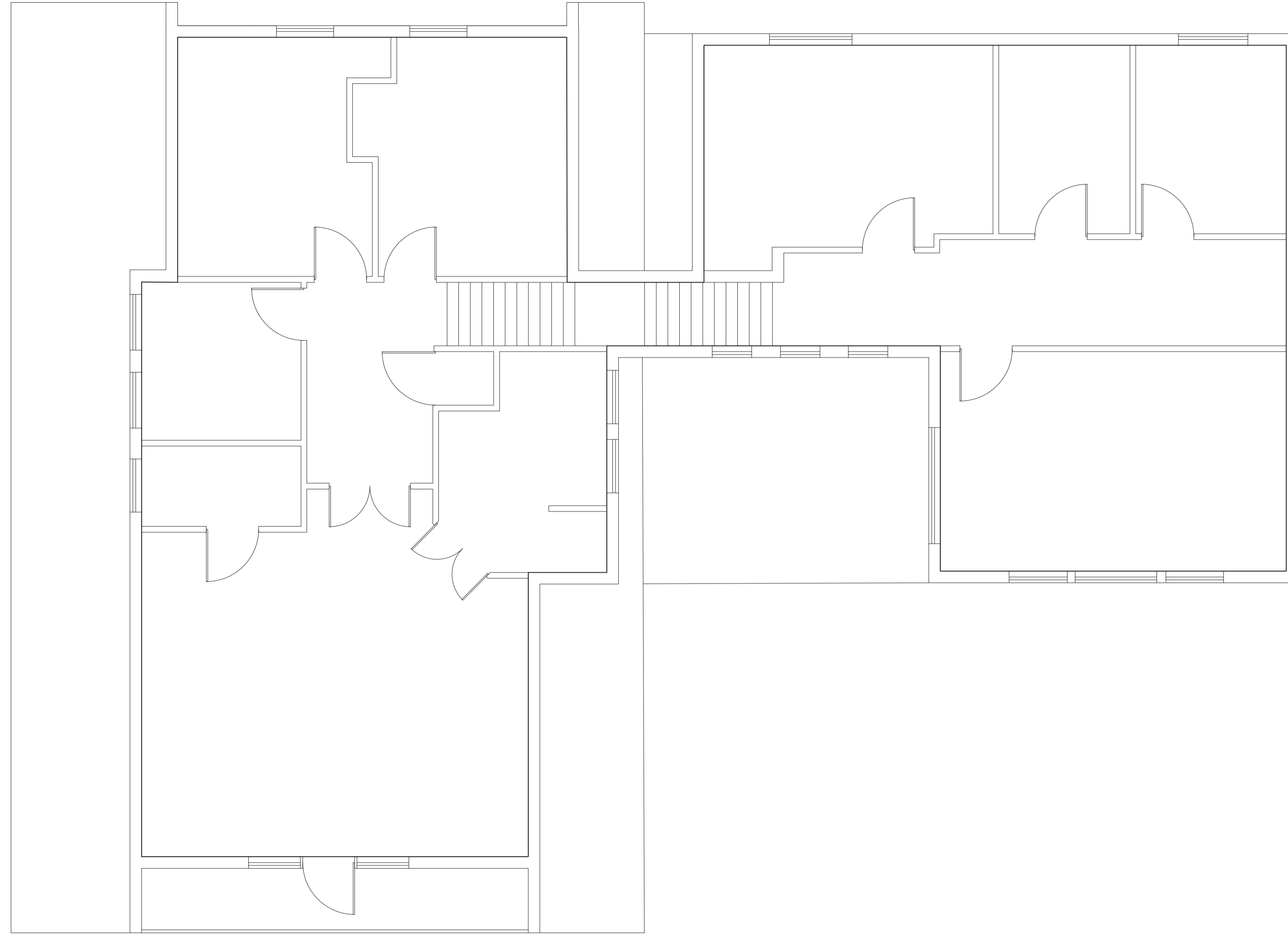
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### Planning

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<p>KEY</p>	

### Harp & Harp Ltd.

CLIENT		Macar Developments
ADDRESS		Josil, Waterhouse Lane, Kingswood
SCALE	SCALE BAR	
1:50 @ A1		
DRAWING TITLE		Existing Ground Floor Plan
DWG NO.	DRAWN:	DATE:
22.073.002	SH CHECKED: KH	NOV 22



Existing First Floor Plan

### Planning

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CLIENT	Macar Developments	
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SCALE	SCALE BAR	
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DRAWING TITLE	Existing First Floor Plan	
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22.073.003	SH CHECKED: KH	NOV 22



Proposed South Elevation



Proposed North Elevation

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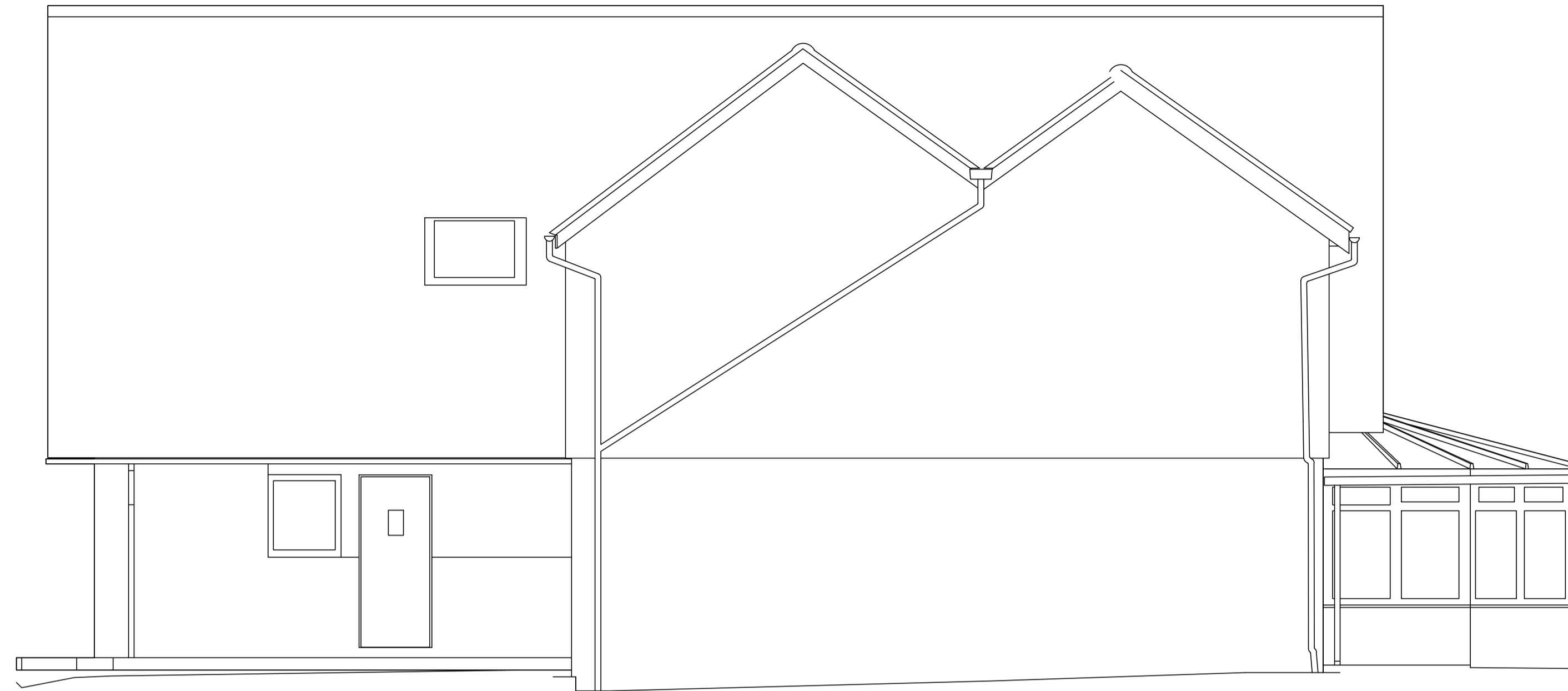
### Planning

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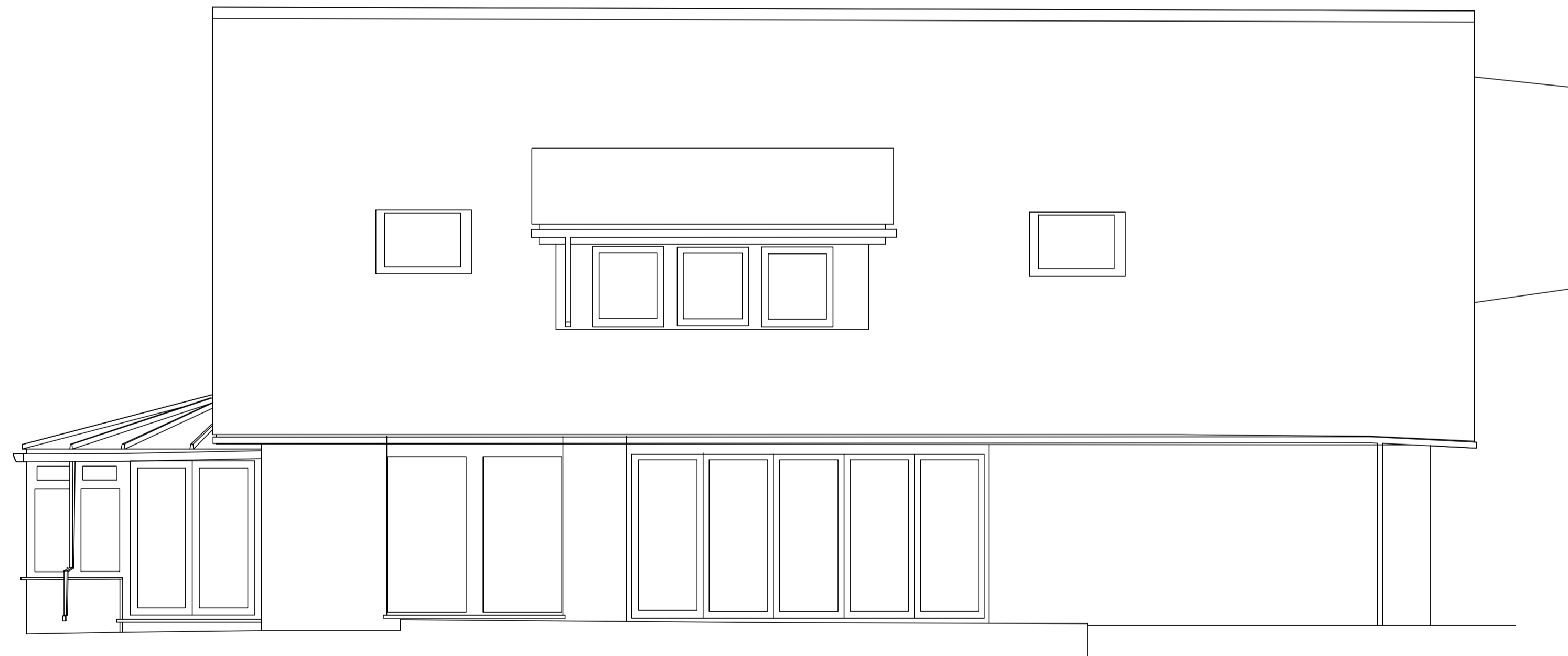
### Harp & Harp Ltd.

CLIENT	Macar Developments	
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DWG NO.	DRAWN:	DATE:
22.073.004	SH CHECKED: KH	NOV 22





Proposed East Elevation



Proposed West Elevation

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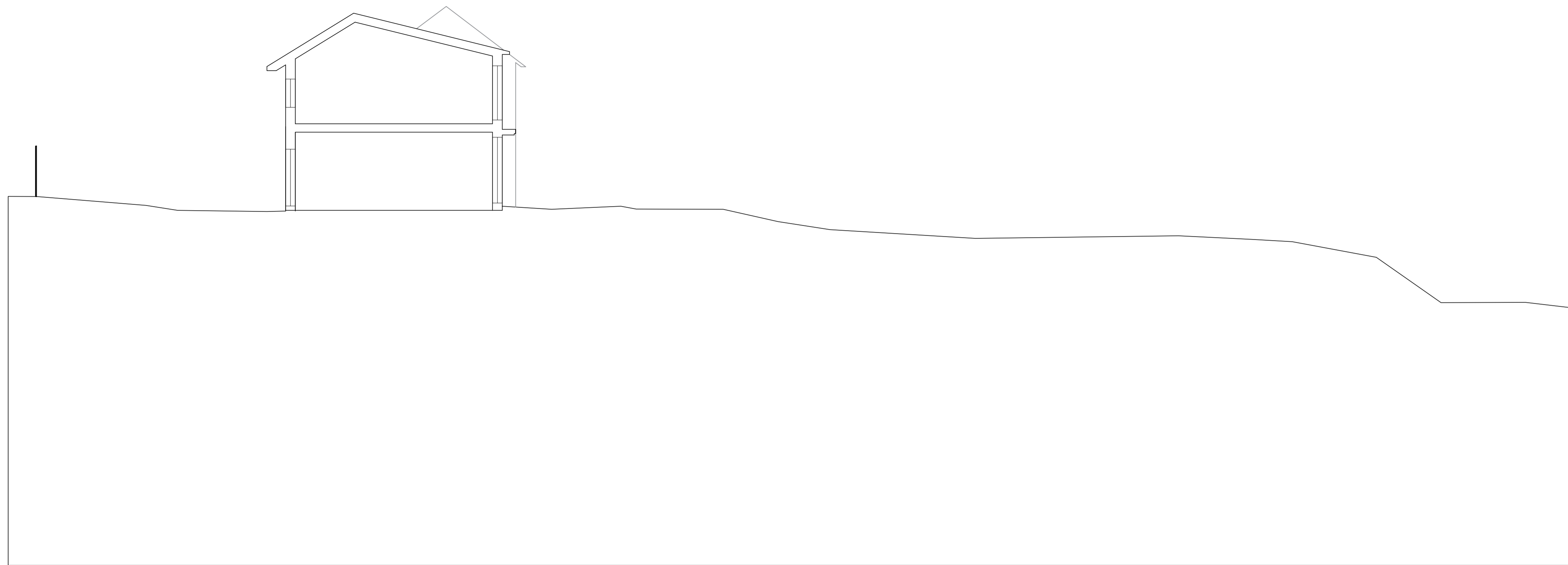
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<p>KEY</p>	

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CLIENT	Macar Developments	
ADDRESS	Josil, Waterhouse Lane, Kingswood	
SCALE	SCALE BAR	
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DWG NO. 22.073.005	DRAWN: SH CHECKED: KH	DATE: NOV 22

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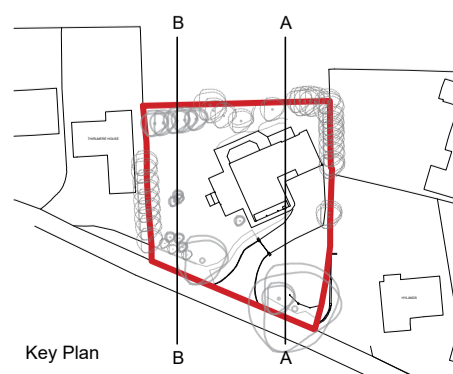
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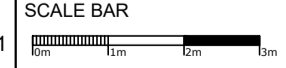
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### Planning

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<p>KEY</p>	 <p>Key Plan</p>

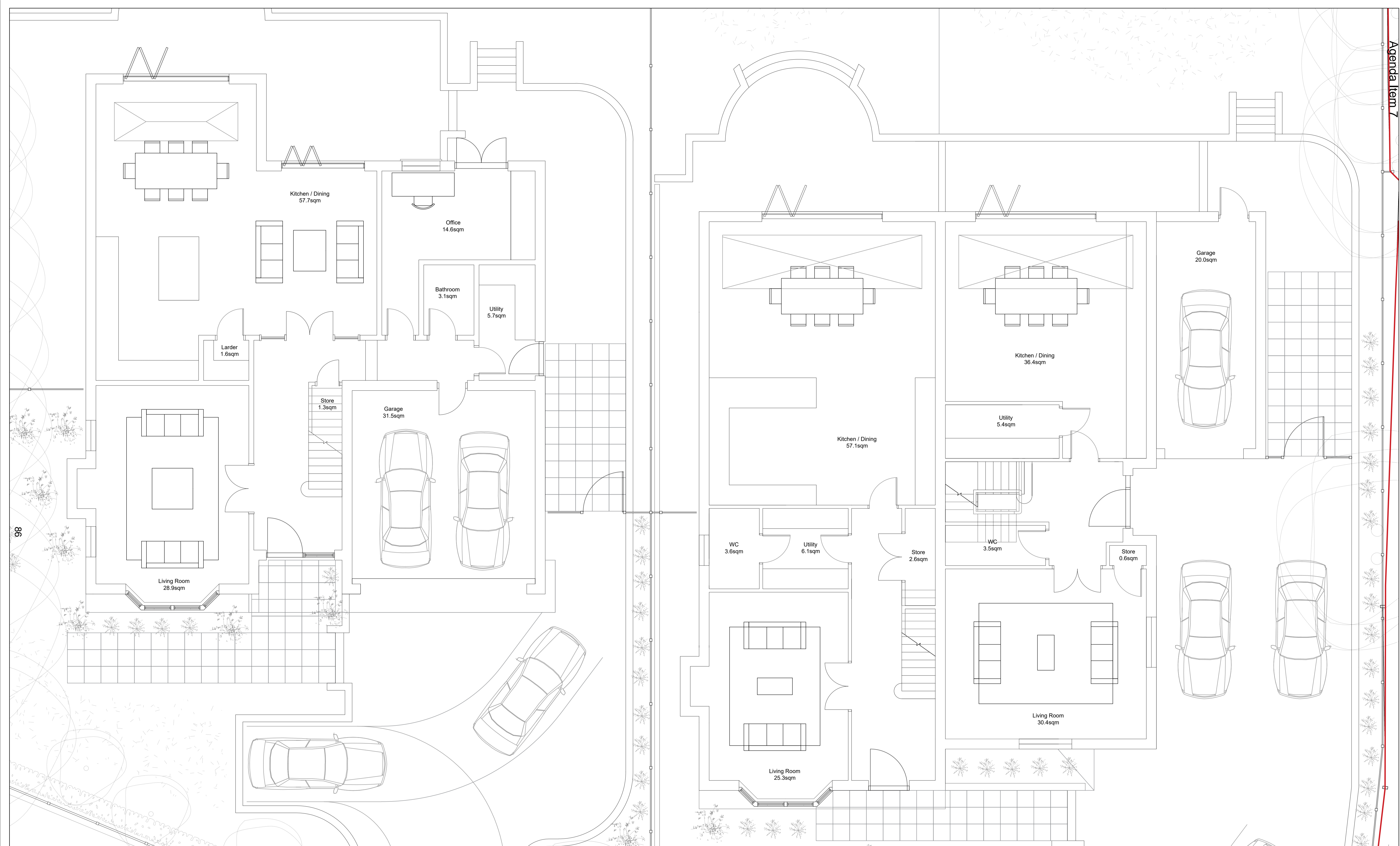
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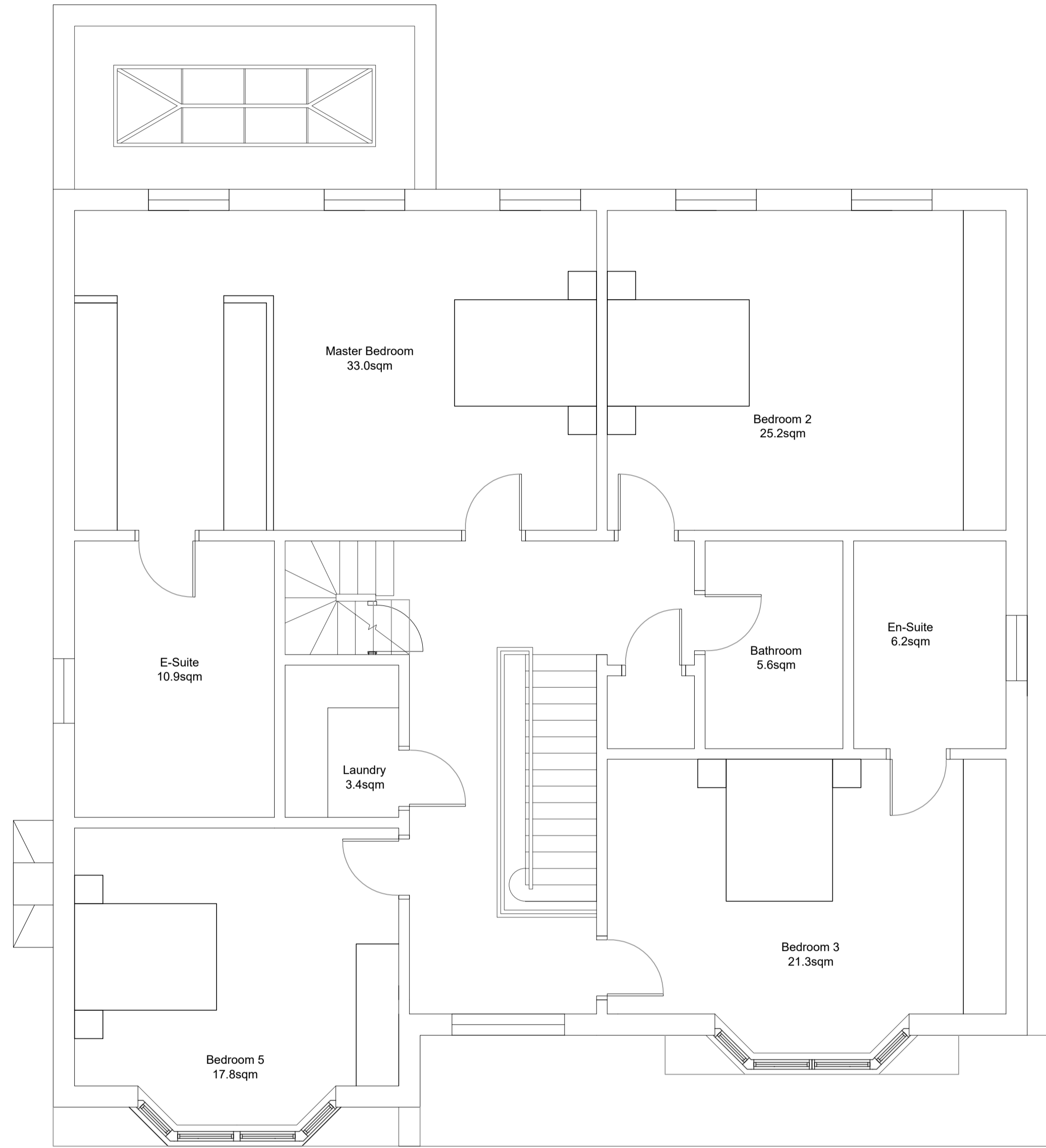
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### Planning

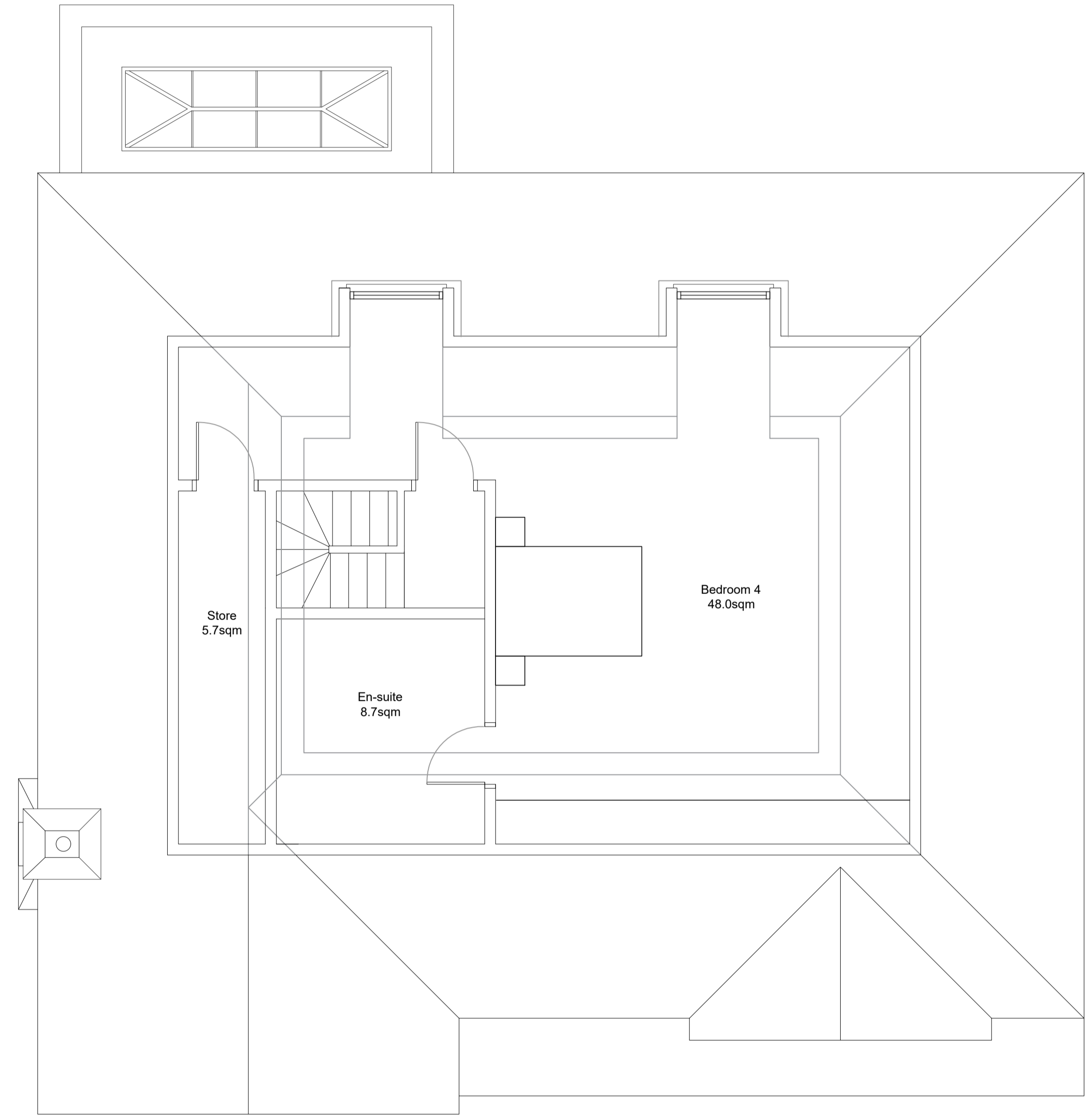
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<p><b>KEY</b></p>	

### Harp & Harp Ltd.

<b>CLIENT</b>	Macar Developments
<b>ADDRESS</b>	Josil, Waterhouse Lane, Kingswood
<b>SCALE</b>	1:50 @ A1
<b>SCALE BAR</b>	
<b>DRAWING TITLE</b>	House A, B and C Ground Floor Plan
<b>DWG NO.</b>	22.073.101
<b>DRAWN:</b>	SH
<b>CHECKED:</b>	KH
<b>DATE:</b>	NOV 22



Proposed First Floor Plan



Proposed Second Floor Plan

### Planning

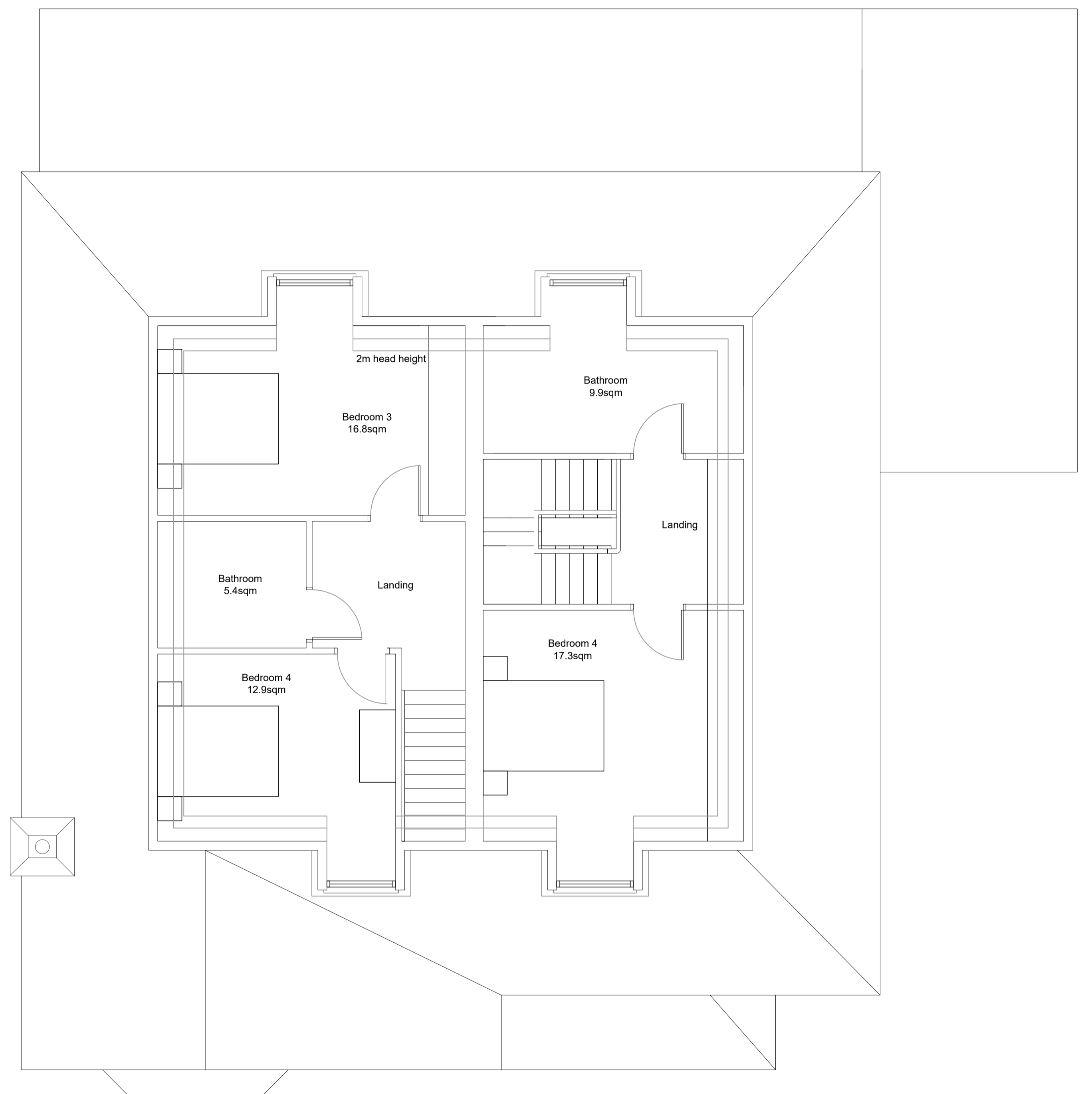
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CLIENT	Macar Developments	
ADDRESS	Josil, Waterhouse Lane, Kingswood	
SCALE	SCALE BAR	
1:50 @ A1		
DRAWING TITLE	House A First and Second Floor Plans	
DWG NO.	DRAWN:	DATE:
22.073.102	SH	NOV 22
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Proposed First Floor Plan



Proposed Second Floor Plan

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Planning

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CLIENT	Macar Developments	
ADDRESS	Josil, Waterhouse Lane, Kingswood	
SCALE	SCALE BAR	
1:50 @ A1		
DRAWING TITLE	House B and C First and Second Floor Plans	
DWG NO.	DRAWN:	DATE:
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Proposed South Elevation



Proposed North Elevation

68

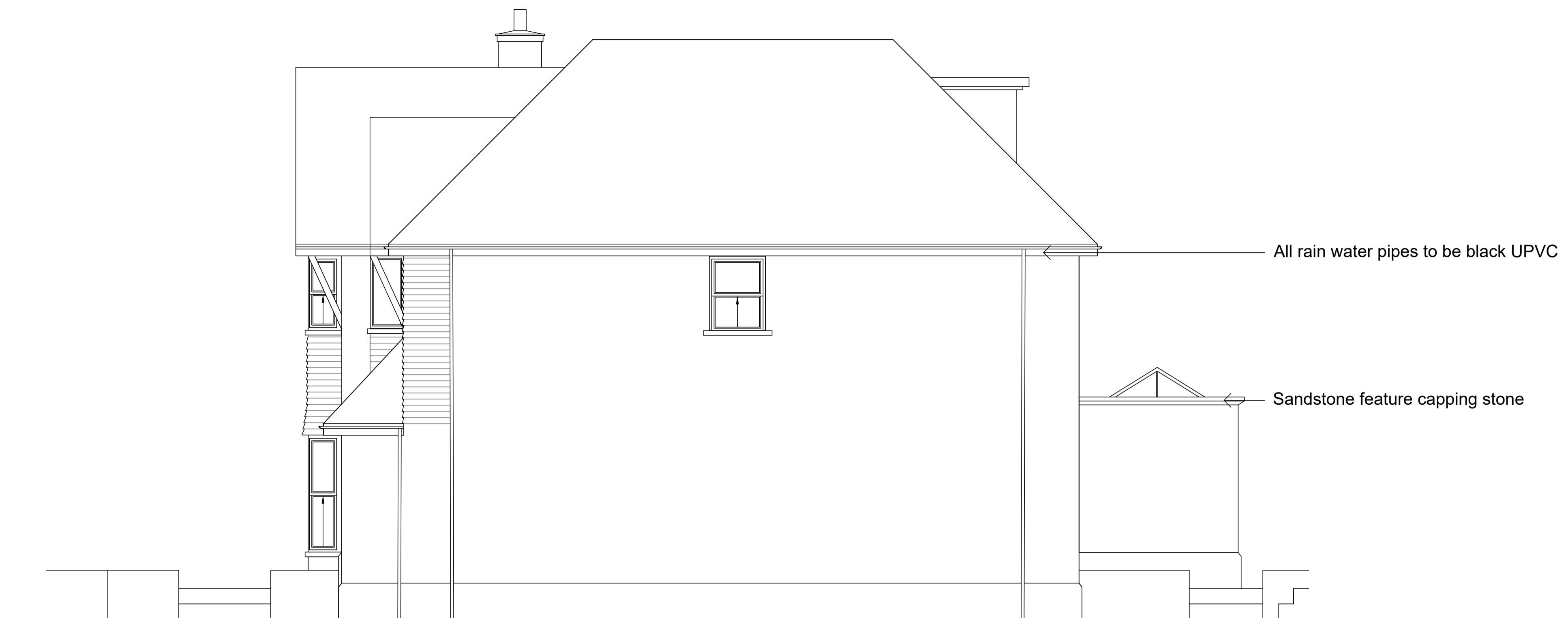
Planning

<p>NOTES NOT FOR CONSTRUCTION Do not scale from this drawing All dimensions to be taken from site Inaccuracies should be reported to the designer All drawings show design intent only. All details to be discussed and agreed on site.</p>	<p>REVISIONS Rev -</p>
<p>KEY</p>	

Harp & Harp Ltd.

CLIENT	Macar Developments	
ADDRESS	Josil, Waterhouse Lane, Kingswood	
SCALE	SCALE BAR	
1:50 @ A1		
DRAWING TITLE	House A Elevations North and South	
DWG NO.	DRAWN:	DATE:
22.073.110	SH	NOV 22
	CHECKED:	
	KH	

Agenda Item 7



Proposed East Elevation



Proposed West Elevation

06

Planning

<p>NOTES NOT FOR CONSTRUCTION Do not scale from this drawing All dimensions to be taken from site Inaccuracies should be reported to the designer All drawings show design intent only. All details to be discussed and agreed on site</p>	<p>REVISIONS Rev -</p>
<p>KEY</p>	

Harp & Harp Ltd.

CLIENT		Macar Developments
ADDRESS		Josil, Waterhouse Lane, Kingswood
SCALE	SCALE BAR	
1:50 @ A1		
DRAWING TITLE		House A Elevations East and West
DWG NO.	DRAWN:	DATE:
22.073.111	SH CHECKED: KH	NOV 22





Proposed North Elevation



Proposed South Elevation

### Planning

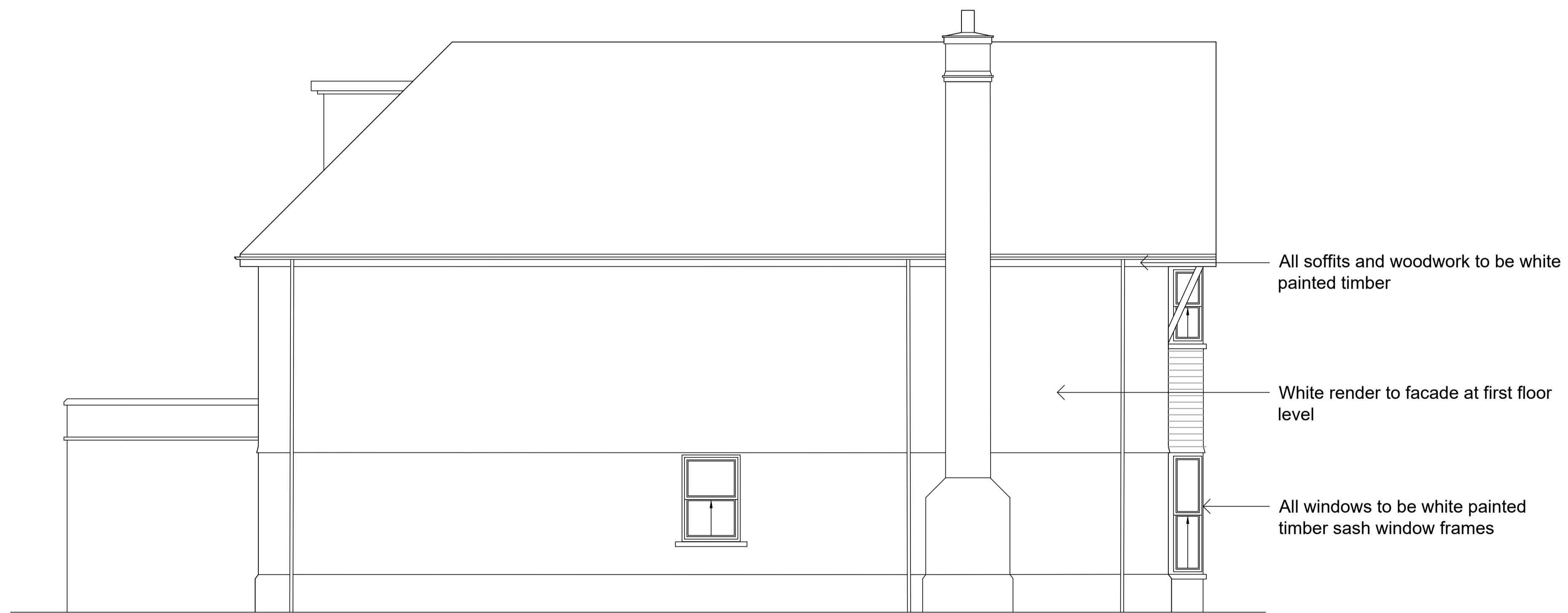
<p>NOTES</p> <p>NOT FOR CONSTRUCTION Do not scale from this drawing All dimensions to be taken from site Inaccuracies should be reported to the designer All drawings show design intent only. All details to be discussed and agreed on site.</p>	<p>REVISIONS</p> <p>Rev -</p>
<p>KEY</p>	

Harp & Harp Ltd.

CLIENT	Macar Developments	
ADDRESS	Josil, Waterhouse Lane, Kingswood	
SCALE	1:50 @ A1	SCALE BAR 0.5m 1m
DRAWING TITLE	House B and C Elevations North and South	
DWG NO.	DRAWN: SH	DATE: NOV 22
22.073.112	CHECKED: KH	



Proposed East Elevation



Proposed West Elevation

92

Planning

<p><b>NOTES</b>                  NOT FOR CONSTRUCTION                  Do not scale from this drawing                  All dimensions to be taken from site                  Inaccuracies should be reported to the designer                  All drawings show design intent only. All details to be discussed and agreed on site</p>	<p><b>REVISIONS</b>                  Rev -</p>
<p><b>KEY</b></p>	

Harp & Harp Ltd.

<b>CLIENT</b>		Macar Developments
<b>ADDRESS</b>		Josil, Waterhouse Lane, Kingswood
<b>SCALE</b> 1:50 @ A1	<b>SCALE BAR</b> 0m 0.5m 1m	
<b>DRAWING TITLE</b>		House B and C Elevations East and West
<b>DWG NO.</b> 22.073.113	<b>DRAWN:</b> SH <b>CHECKED:</b> KH	<b>DATE:</b> NOV 22

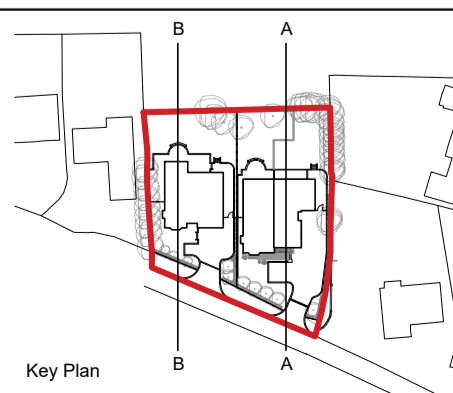




Proposed Section A-A

93

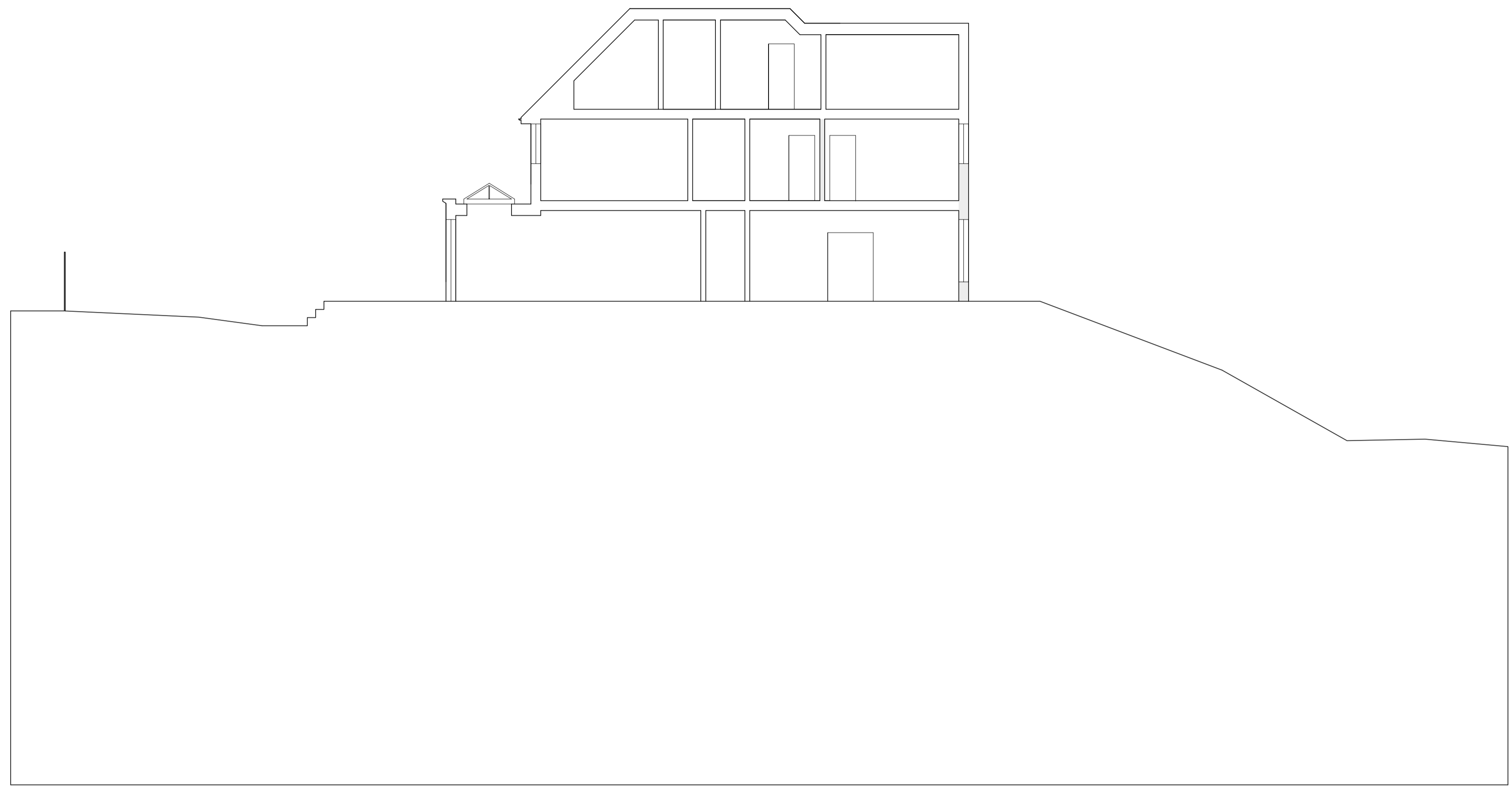
Planning

<p>NOTES          NOT FOR CONSTRUCTION          Do not scale from this drawing          All dimensions to be taken from site          Inaccuracies should be reported to the designer          All drawings show design intent only. All details to be discussed and agreed on site.</p>	<p>REVISIONS          Rev -</p>
<p>KEY</p>	 <p>Key Plan</p>

Harp & Harp Ltd.

CLIENT	Macar Developments	
ADDRESS	Josil, Waterhouse Lane, Kingswood	
SCALE	1:100 @ A1	SCALE BAR
DRAWING TITLE	Proposed Section A-A	
DWG NO.	DRAWN:	DATE:
22.073.120	SH	NOV 22
	CHECKED:	
	KH	

Agenda Item 7



Proposed Section B-B

16

### Planning

<p><b>NOTES</b>          NOT FOR CONSTRUCTION          Do not scale from this drawing          All dimensions to be taken from site          Inaccuracies should be reported to the designer          All drawings show design intent only. All details to be discussed and agreed on site.</p>	<p><b>REVISIONS</b>          Rev -</p>	<p>Key Plan</p>
<p><b>KEY</b></p>		

### Harp & Harp Ltd.

<b>CLIENT</b>	Macar Developments					
<b>ADDRESS</b>	Josil, Waterhouse Lane, Kingswood					
<b>SCALE</b>	<table border="1"> <tr> <td>1:100 @ A1</td> <td>SCALE BAR</td> </tr> <tr> <td>1:200 @ A1</td> <td></td> </tr> </table>		1:100 @ A1	SCALE BAR	1:200 @ A1	
1:100 @ A1	SCALE BAR					
1:200 @ A1						
<b>DRAWING TITLE</b>	Proposed Section B-B					
<b>DWG NO.</b>	<b>DRAWN:</b>	<b>DATE:</b>				
22.073.121	SH CHECKED: KH	NOV 22				



DERWENT HOUSE

THRILMERE HOUSE

PROPOSED HOUSE A

PROPOSED HOUSE B & C

HIGHLANDS HOUSE

Scale: 1:200

96



Scale: 1:100

Planning

<p>NOTES          NOT FOR CONSTRUCTION          Do not scale from this drawing          All dimensions to be taken from site          Inaccuracies should be reported to the designer          All drawings show design intent only. All details to be discussed and agreed on site</p>	<p>REVISIONS          Rev -</p>
<p>KEY</p>	

Harp & Harp Ltd.

CLIENT	Macar Developments	
ADDRESS	Josil, Waterhouse Lane, Kingswood	
SCALE	SCALE BAR	
1:100 @ A1		
1:200 @ A1		
DRAWING TITLE	Proposed Street Elevation	
DWG NO.	DRAWN:	DATE:
22.073.130	SH	NOV 22
	CHECKED:	
	KH	


Agenda Item 7

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# Agenda Item 8

Planning Committee  
28 June 2023

Agenda Item: 8  
23/01104/F

 <b>Reigate &amp; Banstead</b> BOROUGH COUNCIL Banstead   Horley   Redhill   Reigate	<b>TO:</b>	PLANNING COMMITTEE
	<b>DATE:</b>	28 June 2023
	<b>REPORT OF:</b>	HEAD OF PLANNING
	<b>AUTHOR:</b>	Matthew Holdsworth
	<b>TELEPHONE:</b>	01737 276752
	<b>EMAIL:</b>	Matthew.Holdsworth@reigate-banstead.gov.uk
<b>AGENDA ITEM:</b>	8	<b>WARD:</b> Reigate

<b>APPLICATION NUMBER:</b>	23/01104/F	<b>VALID:</b>	30 June 2023
<b>APPLICANT:</b>	Reigate and Banstead Borough Council	<b>AGENT:</b>	
<b>LOCATION:</b>	<b>THE PAVILION, PRIORY PARK, BELL STREET, REIGATE</b>		
<b>DESCRIPTION:</b>	Installation of horizontal solar panels on the roof of the existing detached building to provide all future electrical power for the exclusive use of restaurant/cafe tenants. External elevations to remain unchanged. Internal plan to remain unchanged.		
<b>All plans in this report have been reproduced, are not to scale, and are for illustrative purposes only. The original plans should be viewed/referenced for detail.</b>			

**This application is referred to Committee in accordance with the Constitution as the application site is owned by the Council.**

## SUMMARY

This is a full application for the erection of 76 solar panels on the roof of the pavilion in Priory Park. The panels would each measure 1725mm by 1135mm. These will be placed flat onto the roof and would be behind the parapet. In keeping with Reigate and Banstead Borough Council's Sustainability Strategy, to achieve energy sustainability through approaches to the design of the built environment and creating an environment adapted for future needs, it is proposed that solar panels should be installed at the Pavilion to provide all power requirements thus reducing energy consumption and carbon emissions and helping limit climate change.

The site is located within the metropolitan green belt and is within the setting of the scheduled monument and grade I listed building Reigate Priory in Reigate Conservation Area and within the Registered Historic Park and Garden.

The solar panels have been positioned so that the impact on the setting of the historic assets and the metropolitan green belt has been minimised are neutral and therefore, subject to a condition regarding the position of the solar panels, there is no objection to the proposal.

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## RECOMMENDATION

Planning permission is **GRANTED** subject to conditions.

## Consultations:

Conservation Officer: There are long views of the Pavilion including elevated views from the hill and slope of Park Hill so even the roof covering is visible from some locations. I would expect the panels to be laid flat instead of 30 degree (there would be about a 10% loss in efficiency from the reduction in angle), any supporting framing to be low and the framing is painted to match black to reduce any obtrusiveness. I therefore have no objection from a conservation viewpoint subject to the following condition:

1) The panels shall be laid flat and below the parapet of the pavilion, any supporting framing to be low and the framing of the panels to be black to reduce any obtrusiveness.

Historic England: Wishes to offer no advice

The Gardens Trust: Do not wish to comment on the proposals.

## Representations:

Letters were sent to consultees and neighbours on 07 June 2023. No responses have been received.

### 1.0 Site and Character Appraisal

1.1 The application site comprises of a detached pavilion which incorporates a café and public toilets. The Pavilion is of contemporary design and was designed in 2005 by the notable French architect Dominique Perrault. The design philosophy of the pavilion was to fade into the park by reflecting it.

1.2 The site is located within the metropolitan green belt and is within the setting of the scheduled monument and grade I listed building Reigate Priory in Reigate Conservation Area and within the Registered Historic Park and Garden.

### 2.0 Added Value

2.1 Improvements secured at the pre-application stage: No pre application advice was sought.

2.2 Improvements secured during the course of the application: None

2.3 Further improvements could be secured: condition as recommended by the conservation officer.

### 3.0 Relevant Planning and Enforcement History

3.1 05/02689/F - Construction of new pavilion and demolition of old kiosk and toilets – approved with conditions.

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## 4.0 Proposal and Design Approach

- 4.1 This is a full application for the erection of 76 solar panels on the roof of the pavilion. The panels would each measure 1725mm by 1135mm. These will be placed flat onto the roof and would be behind the parapet.
- 4.2 The elevations and floor plan of the existing building are not proposed to be changed by this application.
- 4.3 A design and access statement should illustrate the process that has led to the development proposal, and justify the proposal in a structured way, by demonstrating the steps taken to appraise the context of the proposed development. It expects applicants to follow a four-stage design process comprising:
- Assessment;
  - Involvement;
  - Evaluation; and
  - Design.
- 4.4 Evidence of the applicant's design approach is set out below:

Assessment	A heritage statement regarding the setting of a Grade 1 listed building (Reigate Priory) and Priory Park (historic park and garden) have been included with the application.
	No site features worthy of retention were identified.
Involvement	No community consultation took place.
Evaluation	The statement does not include any evidence of other development options being considered.
Design	In keeping with Reigate and Banstead Borough Council's policy to achieve energy sustainability through approaches to the design of the built environment and creating an environment adapted for future needs, it is proposed that solar panels should be installed at the Pavilion to provide all power requirements thus reducing energy consumption and carbon emissions and limiting climate change.

## 5.0 Policy Context

### 5.1 Designation

Metropolitan Green Belt  
Setting of a Grade 1 listed building  
Historic park and garden



## 5.2 Reigate and Banstead Core Strategy

CS1(Sustainable Development)  
CS3 (Green Belt)  
CS4 (Valued Townscapes and Historic Environment)  
CS10 (Sustainable Development)  
CS11 (Sustainable Construction)

## 5.3 Reigate & Banstead Development Management Plan

Design	DES1
Nature and Heritage	NHE5, NHE9

## 5.4 Other Material Considerations

National Planning Policy Framework  
National Planning Practice Guidance

Other	Human Rights Act 1998 Circular 05/2005 Community Infrastructure Levy Regulations 2010
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## 6.0 **Assessment**

6.1 The main issues to consider are:

- Impact on the green belt
- Design and character
- Neighbour amenity

### Impact on the green belt

6.3 The application site is located within the metropolitan green belt and the fundamental aim of green belt policy is to prevent urban sprawl by keeping land permanently open.

6.4 The NPPF states that the local planning authority should regard the construction of new buildings as inappropriate development.

6.5 In this instance, no new buildings are proposed and the proposed solar panels would be placed on the roof, behind the existing parapet.

6.6 It is therefore considered that there would be a minimal impact on the openness of the MGB due to the positioning of the solar panels and that there would be no other physical changes to the building. As a result of this the proposal is considered to preserve the openness of the green belt in accordance with the requirements of the NPPF.

# Agenda Item 8

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## Design, character and Heritage

- 6.7 The proposal is for the erection of 76 solar panels on the roof of the pavilion. The panels would each measure 1725mm by 1135mm. These will be placed flat onto the roof and would be behind the parapet.
- 6.8 The site is situated within the setting of a grade I listed building and within a historic park and garden. Local Plan policy and para 195 of The NPPF advises that Local planning authorities should identify and assess the particular significance of any heritage asset that may be affected by a proposal (including by development affecting the setting of a heritage asset) taking account of the available evidence and any necessary expertise. They should take this into account when considering the impact of a proposal on a heritage asset, to avoid or minimise any conflict between the heritage asset's conservation and any aspect of the proposal.
- 6.9 The conservation officer has been consulted and has stated that the roof is visible from some long views within the park. However, the impact of the proposal upon the heritage assets in this case is considered neutral and not harmful.
- 6.10 A condition has been recommended by the conservation officer that the panels shall be laid flat and below the parapet and the framing of the panels should be black to reduce any obtrusiveness. It is considered that such a limit on the panels' elevation is required to minimise their visual impact upon the wider surroundings.
- 6.11 Subject to the above condition, the proposed development is considered to cause no visual harm with regards to design and character and would be acceptable in this regard.

## Neighbour amenity

- 6.12 Due to the significant separation distance between the proposed development and neighbouring properties, no adverse harm is considered to occur to these properties as a result of the proposal.

## **CONDITIONS**

1. The development hereby permitted shall be carried out in accordance with the following approved plans.

Reason: To define the permission and ensure the development is carried out in accord with the approved plans and in accordance with National Planning Practice Guidance.

Note: Should alterations or amendments be required to the approved plans, it will be necessary to apply either under Section 96A of the Town and Country Planning Act 1990 for non-material alterations or Section 73 of the Act for minor

material alterations. An application must be made using the standard application forms and you should consult with us, to establish the correct type of application to be made.

Plan Type	Reference	Version	Date Received
Roof Plan	PPP/Plan 002		30.05.2023
Roof Plan	PPP/Plan 003		30.05.2023
Elevation Plan	PPP/Elev 001		30.05.2023
Elevation Plan	PPP/Elev 001		30.05.2023
Floor Plan	PPP/Plan 001		30.05.2023
Block Plan	PPP/SP/Plan 004		30.05.2023
Location Plan	PPP/LP/Plan 005		30.05.2023

2. The development hereby permitted shall be begun before the expiration of three years from the date of this permission.

Reason: To comply with Section 91(1) of the Town and Country Planning Act 1990 as amended by Section 51 (1) of the Planning and Compulsory Purchase Act 2004.

3. The panels shall be laid flat and below the parapet of the pavilion, any supporting framing to be low and the framing of the panels to be black to reduce any obtrusiveness.

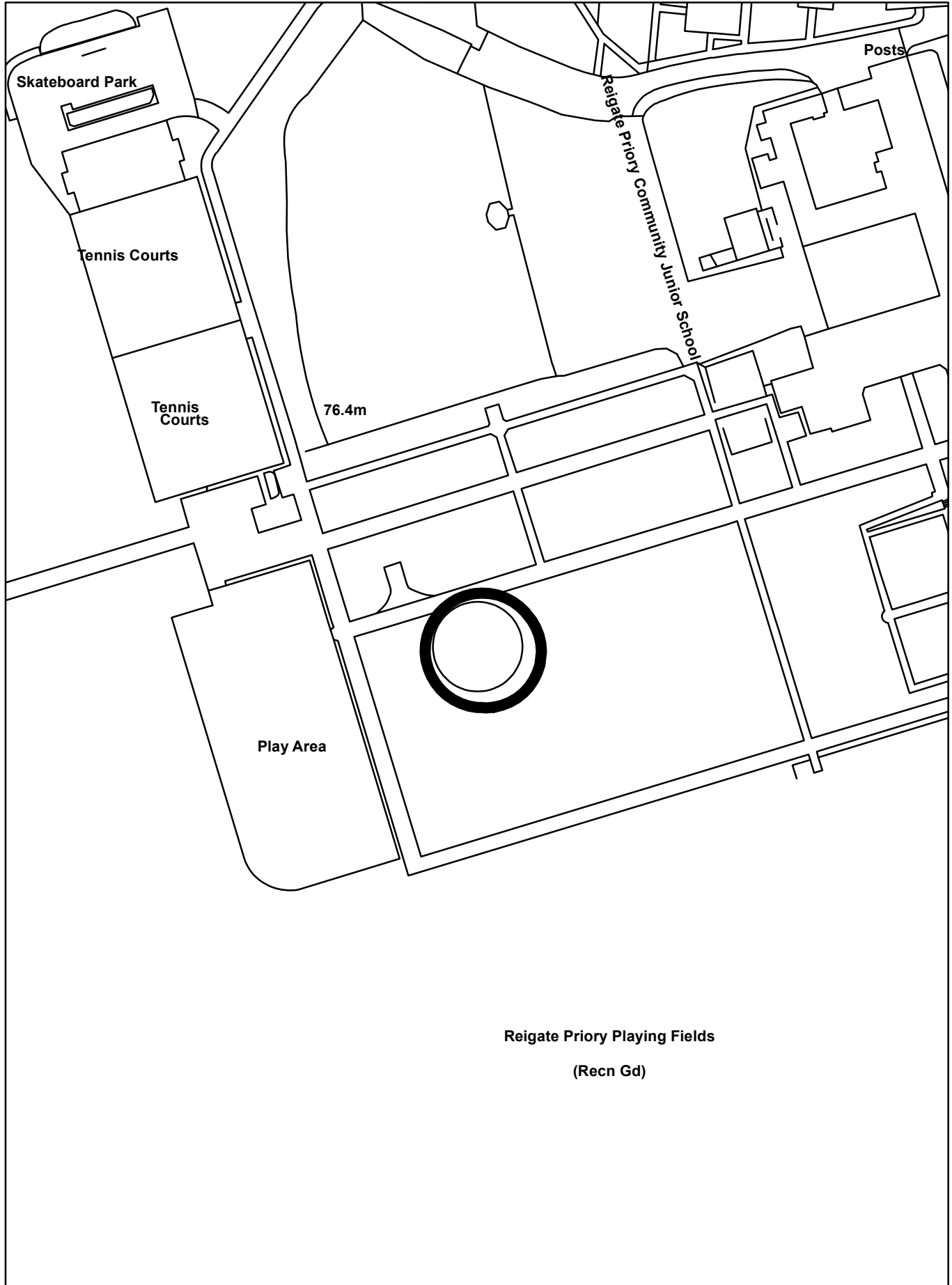
Reason: To ensure that the development hereby permitted is constructed to minimise the impact to and in the interest of maintaining the historic and architectural character of the setting of the listed building and the visual amenities of the historic park and garden with regard to Reigate and Banstead Development Management Plan 2019 policies DES1 and NHE9.

## REASON FOR PERMISSION

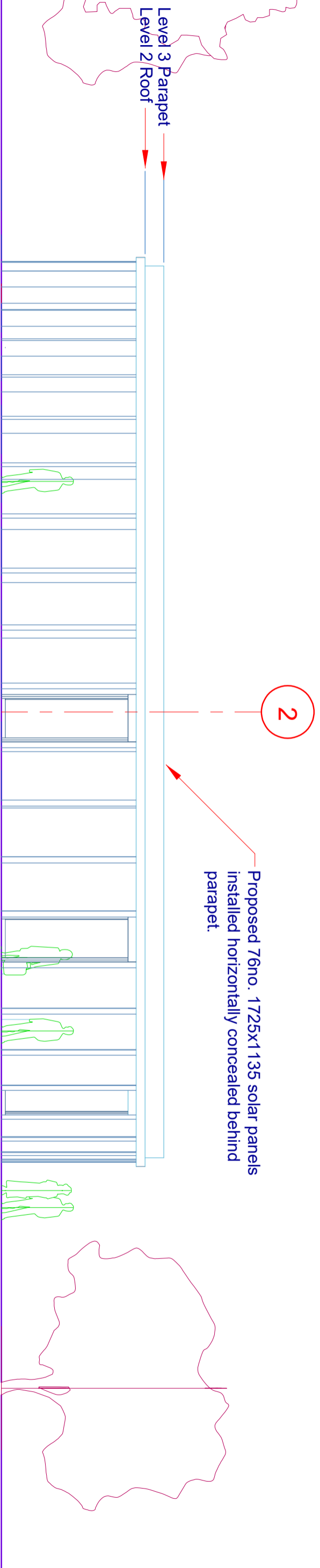
The development hereby permitted has been assessed against development plan policies DES1, NHE5, NHE9, the National Planning Policy Framework and material considerations, including third party representations. It has been concluded that the development is in accordance with the development plan and there are no material considerations that justify refusal in the public interest.

The Local Planning Authority has acted positively and proactively in determining this application by assessing the proposal against all material considerations, including planning policies and any representations that may have been received and subsequently determining to grant planning permission in accordance with the presumption in favour of sustainable development where possible, as set out within the National Planning Policy Framework.

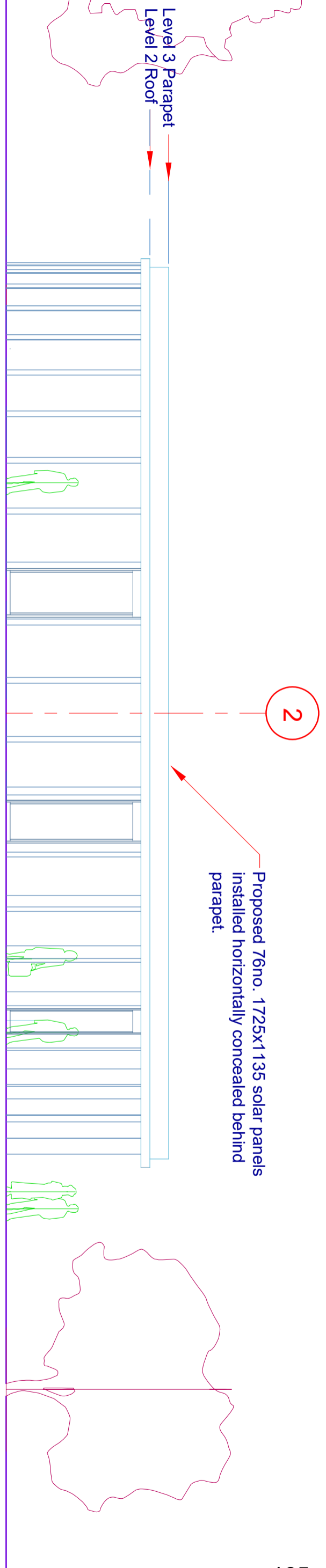
Agenda Item 8  
23/01104/F - Pistachios In The Park, The Pavilion, Priory Park,  
Bell Street, Reigate



Reigate Priory Playing Fields  
(Recn Gd)



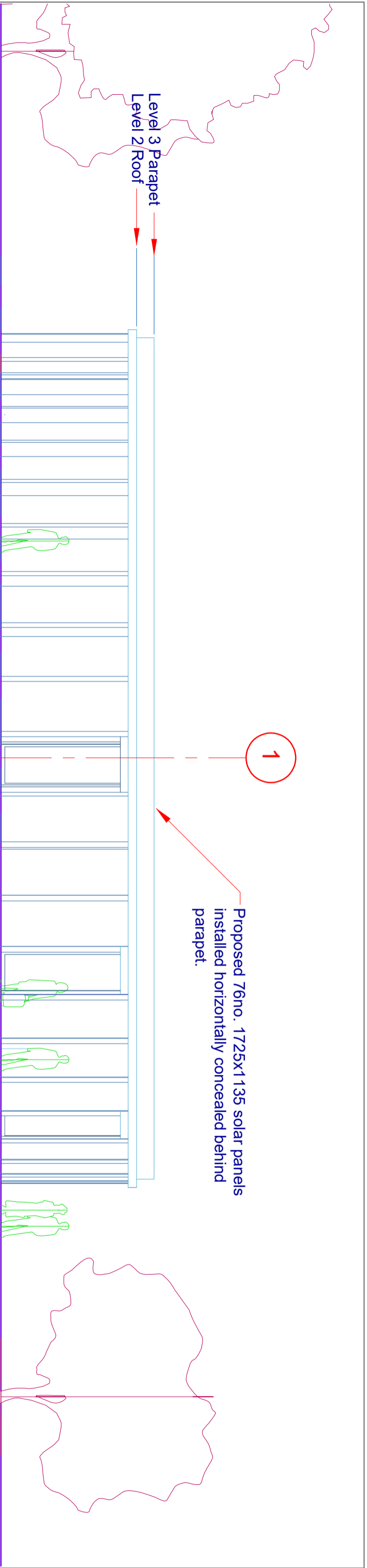
East Elevation



West Elevation

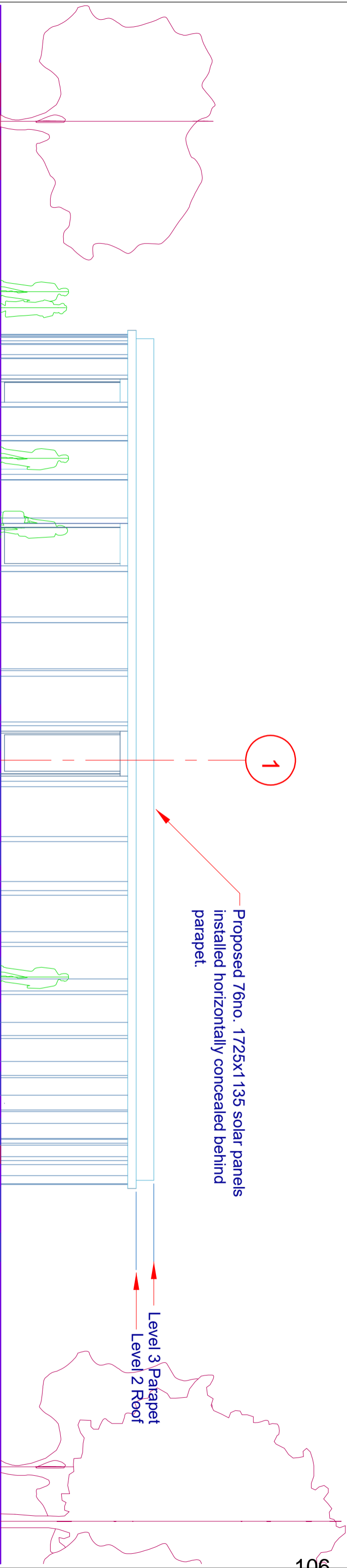
<b>Drawing Title</b> Installation of Solar Panels to Existing Roof: Existing and Proposed East & West Elevations		<b>Client</b> Reigate & Banstead Borough Council, Town Hall, Castlefield Rd, Reigate, RH2 0SH	
<b>Location</b> Priory Park Pavilion Bell Street Reigate RH2 7RL	<b>Scale</b> 1:100 @ A3 <b>Drawn By</b> BD	<b>Date</b> 08.03.2023 <b>Drawing No.</b> PPP/Elev 001	

# Agenda Item 8



Proposed 76no. 1725x135 solar panels installed horizontally concealed behind parapet.

South Elevation



Proposed 76no. 1725x135 solar panels installed horizontally concealed behind parapet.

North Elevation



<b>Drawing Title</b> Installation of Solar Panels to Existing Roof: Existing and Proposed South & North Elevations		<b>Client</b> Reigate & Banstead Borough Council, Town Hall, Castlefield Rd, Reigate, RH2 0SH	
<b>Location</b> Priory Park Pavilion Bell Street Reigate RH2 7RL	<b>Scale</b> 1:100 @ A3	<b>Date</b> 08.03.2023	<b>Drawing No.</b> PPP/Elev 002
		<b>Drawn By</b> BD	




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# Agenda Item 9

Planning Committee  
28<sup>th</sup> June 2023

Agenda Item: 9  
23/00970/HHOLD

 <b>Reigate &amp; Banstead</b> BOROUGH COUNCIL Banstead   Horley   Redhill   Reigate	<b>TO:</b>	PLANNING COMMITTEE	
	<b>DATE:</b>	28 <sup>th</sup> June 2023	
	<b>REPORT OF:</b>	HEAD OF PLANNING	
	<b>AUTHOR:</b>	Stephen Yeowell	
	<b>TELEPHONE:</b>	01737 276869	
	<b>EMAIL:</b>	Stephen.Yeowell@reigate-banstead.gov.uk	
<b>AGENDA ITEM:</b>	9	<b>WARD:</b>	Horley East

<b>APPLICATION NUMBER:</b>	23/00970/HHOLD	<b>VALID:</b>	12/05/23
<b>APPLICANT:</b>	Miss Stephanie Daniell	<b>AGENT:</b>	
<b>LOCATION:</b>	<b>144 BALCOMBE ROAD, RH6 9DS</b>		
<b>DESCRIPTION:</b>	<b>First floor extension to the existing single storey extension built in 1976 and conversion of existing garage</b>		
<b>All plans in this report have been reproduced, are not to scale, and are for illustrative purposes only. The original plans should be viewed/referenced for detail.</b>			

**This application is referred to Committee in accordance with the Constitution as the applicant is related to a Borough Councillor.**

## SUMMARY

The proposed development seeks permission for the erection of a first-floor rear extension above an existing single storey addition, and the conversion of the existing garage to internal habitable space.

The rear addition and garage conversion would both be constructed using matching materials and would be well integrated with original dwelling.

The garage conversion would carry the most visibility from the streetscene. However, it would result in minimal change to the appearance of the dwelling, with no additional footprint created. The dwelling is also set back from the highway, minimising any impact on the wider street scene. The nature of the proposal would not result in any harm to the amenity of neighbouring properties.

To the rear of the site, it is proposed to erect a first-floor extension above the existing single storey addition. This addition would have a pitched roof, matching the pitch on the main dwelling. It would be set down from the main ridge height and therefore be subservient in its design. The depth would match the existing single storey addition, and whilst this is relatively deep, it is not of such a depth as to be considered to result in unacceptable harm to the character of the dwelling or wider area. The spacing provided to each boundary is considered sufficient to ensure no harm to the amenity of neighbouring properties.

# Agenda Item 9

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28<sup>th</sup> June 2023

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## RECOMMENDATION

Planning permission is **GRANTED** subject to conditions.

## Consultations:

Horley Town Council: No objections

## Representations:

Letters were sent to neighbouring properties on 25 May 2023 with further consultation following a change in proposal on 09 June 2023. No representations have been received.

### 1.0 Site and Character Appraisal

1.1 The application site comprises of a two-storey semi-detached house set in a good length plot on Balcombe Road, Horley. The property was built in the mid-twentieth century together with the majority of surrounding properties. Dwellings in the area are generally well set back and either detached or semi-detached in nature, with some variety of design. A blanket Tree Preservation Order can be found to the north of the site, however given good separation distances no mature trees would be impacted by the proposal. The site falls within Flood Zone 2. Site levels are relatively flat, though fall a little from the main road to the front of the property.

### 2.0 Added Value

- 2.1 Improvements secured at the pre-application stage: Pre-application advice was not sought from the local planning authority prior to the submission of the application.
- 2.2 Improvements secured during the course of the application: Amendments to the roof design to the first-floor extension. Corrections to the plans and proposal were also provided.
- 2.3 Further improvements to be secured: A condition regarding matching materials would be added to a grant of permission. A condition requiring obscure glazing would be added to a grant of permission.

### 3.0 Relevant Planning and Enforcement History

- |     |         |  |  |
|-----|---------|--|--|
| 3.1 | 76/0803 | Erection of a single storey rear extension | Approved with Conditions<br>20/10/1976 |
|-----|---------|--|--|

### 4.0 Proposal and Design Approach

- 4.1 This is a householder planning application for a first-floor rear extension and a garage conversion to the dwelling.
- 4.2 The proposed additions would be built out of matching materials and is designed to match the existing form and appearance of the dwelling.

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28<sup>th</sup> June 2023

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## 5.0 Policy Context

### 5.1 Designation

Urban Area  
Flood Zone 2

### 5.2 Reigate and Banstead Core Strategy

CS1 (Presumption in favour of sustainable development)  
CS4 (Valued Townscapes and Historic Environment)

### 5.2 Reigate & Banstead Development Management Plan 2019

DES1 (Design of new development)  
CCF2 (Flood Risk)

### 5.3 Other Material Considerations

National Planning Policy Framework

National Planning Policy Guidance

Supplementary Planning Guidance

Householder Extensions and  
Alterations

Other

Human Rights Act 1998

## 6.0 Assessment

6.1 The application site is situated within the urban area where there is a presumption in favour of sustainable development.

6.2 The main issues to consider are:

- Design appraisal
- Impact on Neighbour amenity
- Flooding

### Design appraisal

6.3 The proposed first floor rear extension would be positioned above the existing single storey rear extension providing a new bedroom and ensuite. It would match the existing single storey extension in depth (approx. 4.4m). It would retain 2.25m to the boundary with the attached neighbour and would not therefore extend the full width of the existing rear elevation. The existing spacing would be retained to the other boundary.

6.4 The extension is of a large size and would result in a large addition to the rear of the original property. However, the applicant made improvements to the design by altering the proposed gable finish to a hip roof design. The hip roof

finish allows for a well-integrated design approach with the existing hipped roofs of the property. This also reduces the level of bulk proposed with the scheme and whilst it is not insignificant in size this allows for an acceptable design approach. The extension would be set down from the main ridge line ensuring a subservient approach in keeping with the advice within the Council's Supplementary Planning Guidance (SPG) on Householder Extension and Alterations. The depth proposed would exceed the depth guidance within the SPG for rear extensions to semi-detached properties. However, given the depth is no deeper than the existing single storey rear addition, the proposed rear extension is not considered to cause undue harm to the character of the wider area.

- 6.5 The positioning of the rear extension would allow for minimal views from the main highway. Some views would clearly be visible from a small cul-de sac to the north of the site. However, the site is separated from this road by the attached neighbouring property, reducing the sense of scale visible from this vantage point. The proposal would have limited impact on the wider street scene and would not cause sufficient harm as to warrant refusal.
- 6.6 The proposed garage conversion would be completed by removing the existing garage door and replacing with matching brickwork and new window. The window would be of matching design to the existing. The change, whilst visible within the street scene, would be relatively minor and would not create any additional footprint or bulk to the property. No visual harm is considered to arise.
- 6.7 The loss of the garage would reduce potential off-street parking within the application site, but the dwelling benefits from a good-sized front driveway which would not be altered. The Council's parking standards, as set out within the Development Management Plan, would still be met in respect of this site.
- 6.8 In summary, the proposal is acceptable with regard to its impact upon the design and character of the dwelling and wider locality. It would comply with the requirements of policy DES1 of the Council's Development Management Plan and no objection is raised.

### Neighbour amenity

- 6.9 A good length rear garden and good separation to dwellings opposite the site would ensure that no neighbour amenity harm would arise to any of these neighbouring properties. Equally, the nature of the garage conversion would result in no additional bulk or footprint to the dwelling. This change would therefore ensure no increased impact on any neighbouring properties by way of loss of light or outlook, nor in regard to an overbearing relationship. The only window would face forward with similar outlook to existing windows in the property. The main consideration would therefore rest upon the impact of the rear extension on the two side neighbours, No's. 142 and 146.

# Agenda Item 9

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28<sup>th</sup> June 2023

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- 6.10 The rear extension would be set above an existing single storey addition (approved under 76/0803). The attached neighbour (no. 142) also has an identically deep single storey addition. The first-floor addition would not extend beyond the rear of this neighbouring extension and would not therefore cause harm to the rear facing windows here. With regard to the first-floor windows of this neighbour, the depth is not insignificant and the nearest rear facing window is that of a bedroom. A 45-degree line drawn from this rear window would minimally intersect the extension within the horizontal plane. However, such a line would comfortably pass in the vertical. In keeping with the advice within the Council's Householder Extensions and Alterations SPG it is therefore considered that sufficient levels of light would continue to reach this window. The depth of the extension would allow for some loss of outlook to this nearest rear facing window. The 2.25m spacing to the boundary is considered sufficient for an allowable tolerance in this regard. The spacing also ensures the extension would not appear unduly overbearing. In the absence of any side-facing windows, this part of the scheme would also not give rise to any overlooking or privacy concerns. As such, whilst the existing relationship would be subject to some change by virtue of the increased massing and built form, the result would not be sufficiently harmful as to warrant refusal and no objection on amenity grounds is raised with regard to this neighbour.
- 6.11 In respect of the non-attached neighbour No.146, the extension would retain the existing spacing to the boundary. No. 146 also has a single storey rear extension of similar depth to that found on the host property. The extension would not therefore extend beyond the rear at ground floor level and would not result in any undue harm to these windows. The nearest rear facing window at first floor would appear to be of that of a bathroom, a non-habitable room. The 45-degree test would pass in respect of this window. No harmful loss of light or outlook is considered to result, nor an unduly overbearing relationship. Whilst there are some side facing windows within the flank wall of No. 146 these are set further forward, already looking at the flank wall of the host dwelling. The outlook from these would not change significantly over the existing relationship. One additional first floor side facing window is proposed to accommodate the change. This would be within the existing flank wall of the property, serving a bathroom and would look toward an area of blank wall to the side elevation of No. 146. The window would be conditioned to be obscure glazed and non-opening unless the parts of the window which can be opened are more than 1.7 metres above the floor of the room in which the window is installed. No harmful overlooking relationship is considered to warrant refusal as a result.
- 6.12 In summary, the proposal would therefore accord with policy DES1 of The Council's Development Management Plan and the Householder Extensions and Alterations SPG with regard to residential amenity.

## Flooding

- 6.13 The site is located within flood zone 2. The Environment Agency's standing advice for householder minor extensions seeks to direct development to

areas least impacted by flooding. Given the majority of the site and the dwelling itself falls within the flood zone, development within the site cannot be directed outside this area. No Flood Risk Assessment was submitted in relation to the application as no additional footprint is to be created by the proposal. This is in line with the Council’s validation requirements. The nature of the proposal would allow for limited potential for any additional flooding risk. The first-floor addition would be solely above the existing rear extension while the garage conversion would create no further footprint to the dwelling, with works retained solely internally. Whilst the garage conversion would alter the use of the floorspace, it is not considered that it would result in any additional flood risk. Further, the front driveway would not be altered as a result of the proposed works. The existing driveway is of a permeable surface and already sufficient in size to hold several off-street vehicles. Therefore, the changes would not result in any increased flood risk to the property nor wider area.

6.14 In view of the above the scheme is considered to be acceptable with regard to flooding and drainage matters and would comply with the requirements of the NPPF and Policy CCF2 of the DMP in this regard.

## CONDITIONS

1. The development hereby permitted shall be begun before the expiration of three years from the date of this permission.

Reason: To comply with Section 91(1) of the Town and Country Planning Act 1990 as amended by Section 51 (1) of the Planning and Compulsory Purchase Act 2004

2. The development hereby permitted shall be carried out in accordance with the following approved plans.

Reason: To define the permission and ensure the development is carried out in accord with the approved plans and in accordance with National Planning Practice Guidance.

Note: Should alterations or amendments be required to the approved plans, it will be necessary to apply either under Section 96A of the Town and Country Planning Act 1990 for non-material alterations or Section 73 of the Act for minor material alterations. An application must be made using the standard application forms and you should consult with us, to establish the correct type of application to be made.

Plan Type	Reference	Version	Date Received
Location Plan	UNNUMBERED		12.05.2023
Existing Floor Plan	001	1	07.06.2023
Existing Elevations	002	2	07.06.2023

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28<sup>th</sup> June 2023

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Proposed Floor Plan	003	1	07.06.2023
Proposed Combined Plan	003	1	07.06.2023
Proposed Elevations	004	2	07.06.2023

3. The external surfaces of the extension shall match those used in the construction of the exterior of the existing building.

Reason: To ensure that the development hereby permitted is only constructed using the appropriate external facing materials or suitable alternatives in the interest of the visual amenities of the area with regard to Reigate and Banstead Development Management Plan 2019 policy DES1.

4. The first-floor windows in the south eastern side elevation of the development hereby permitted shall be glazed with obscured glass and shall be non-opening unless the parts of the window which can be opened are more than 1.7 metres above the floor of the room in which the window is installed and shall be maintained as such at all times.

Reason: To ensure that the development does not affect the amenity of the neighbouring property by overlooking with regard to Reigate and Banstead Development Management Plan 2019 policy DES1.

## INFORMATIVES

1. Building works involving work on an existing wall shared with another property; or new building on the boundary with a neighbouring property; or excavating near a neighbouring building, may fall within the scope of the Party Wall, etc. Act 1996 and may require that you serve a Statutory Notice on all affected owners. Further guidance is available from <https://www.gov.uk/guidance/party-wall-etc-act-1996-guidance>

## REASON FOR PERMISSION

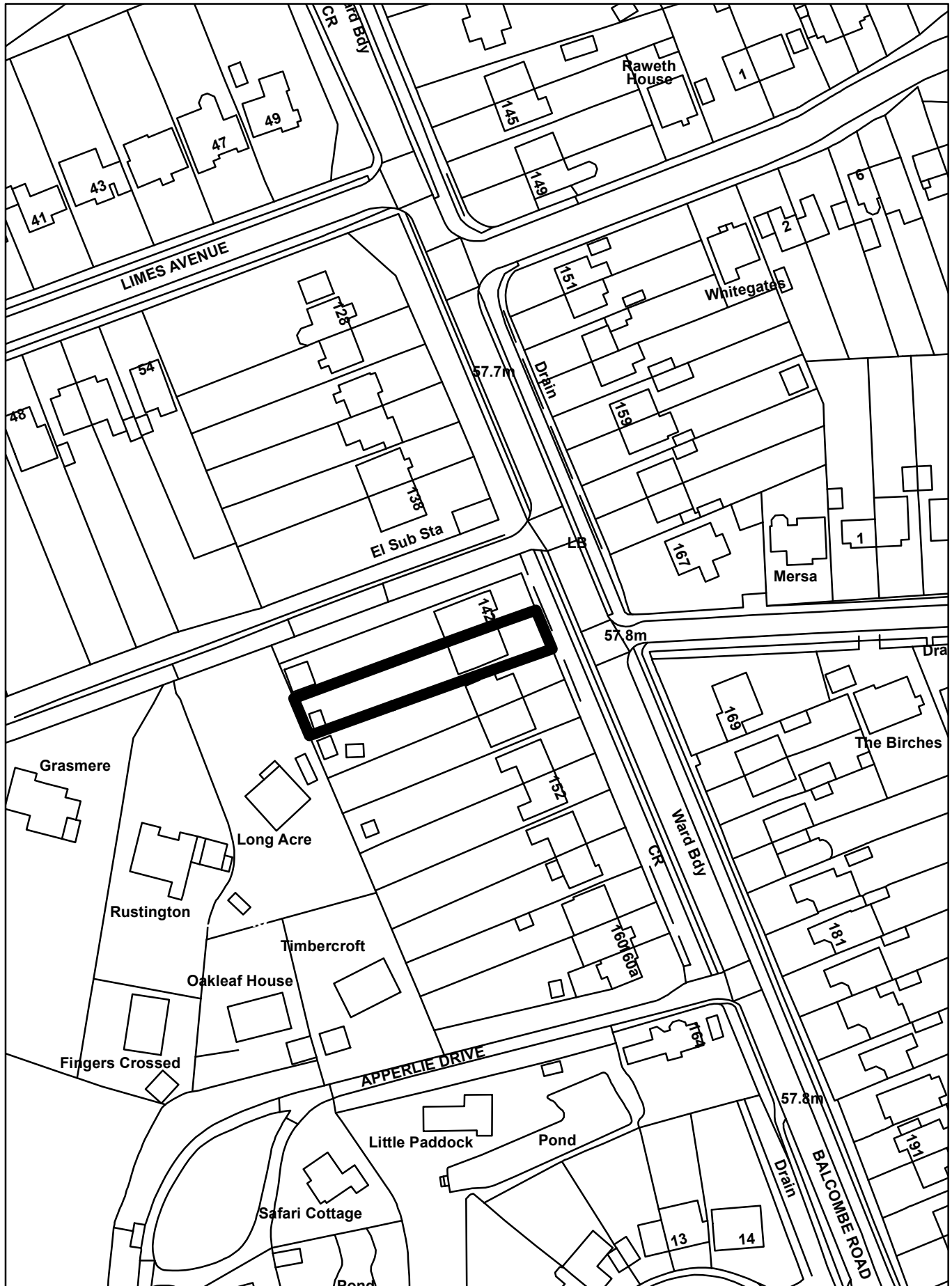
The development hereby permitted has been assessed against development plan policy DES1, CCF2 and material considerations, including third party representations. It has been concluded that the development is in accordance with the development plan and there are no material considerations that justify refusal in the public interest.

The Local Planning Authority has acted positively and proactively in determining this application by assessing the proposal against all material considerations, including planning policies and any representations that may have been received and subsequently determining to grant planning permission in accordance with the presumption in favour of sustainable development where possible, as set out within the National Planning Policy Framework.



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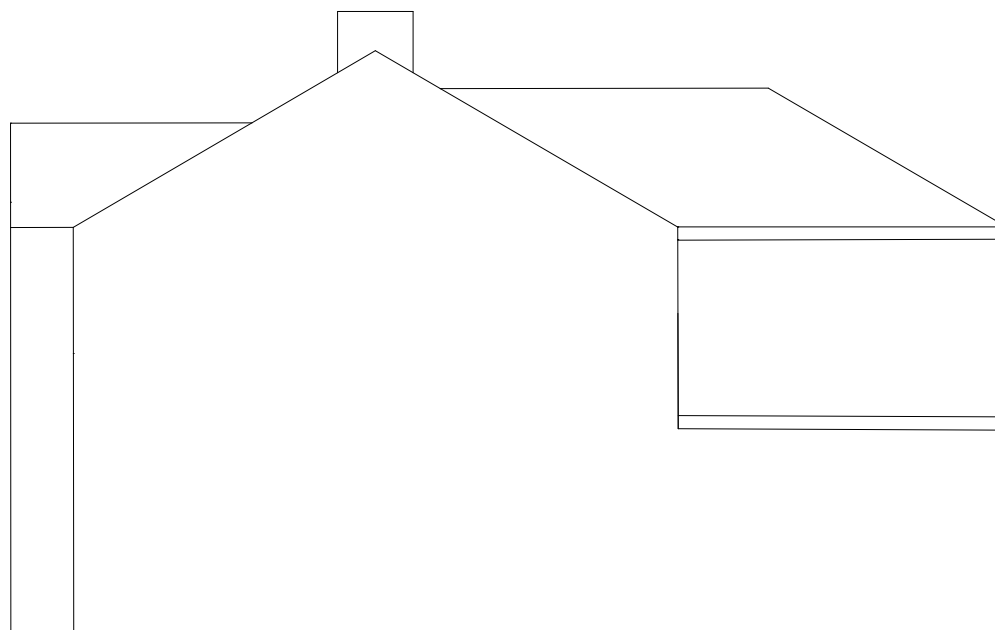
Proposed Rear Elevation



Proposed Side Elevation

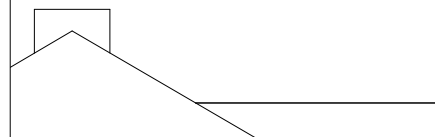


Proposed Front Elevation



Proposed Side elevation (Adjoining to next door)

118



Notes

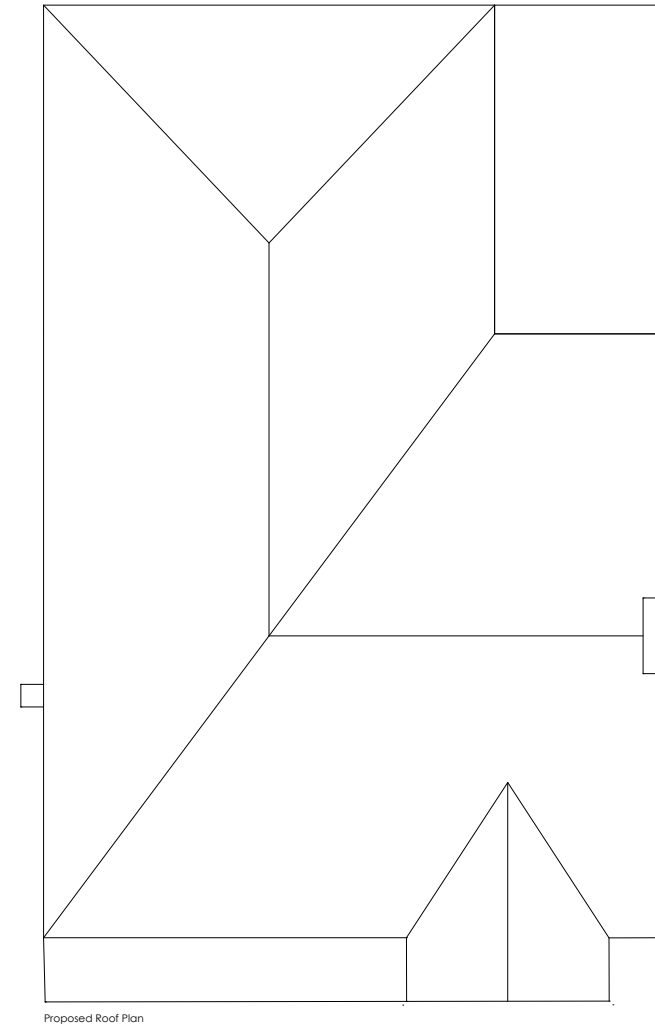
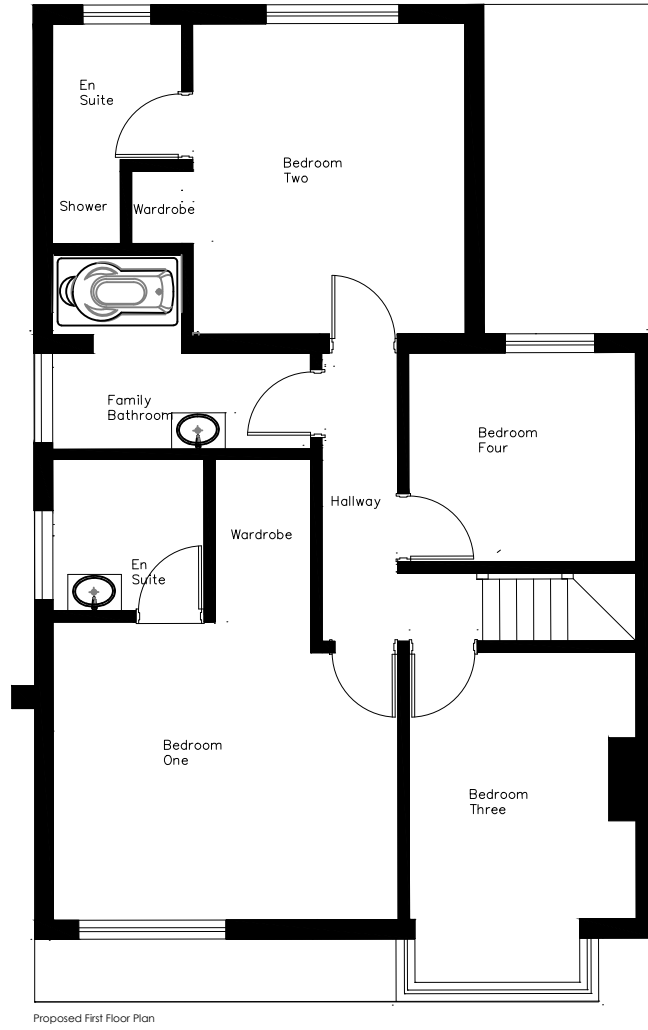
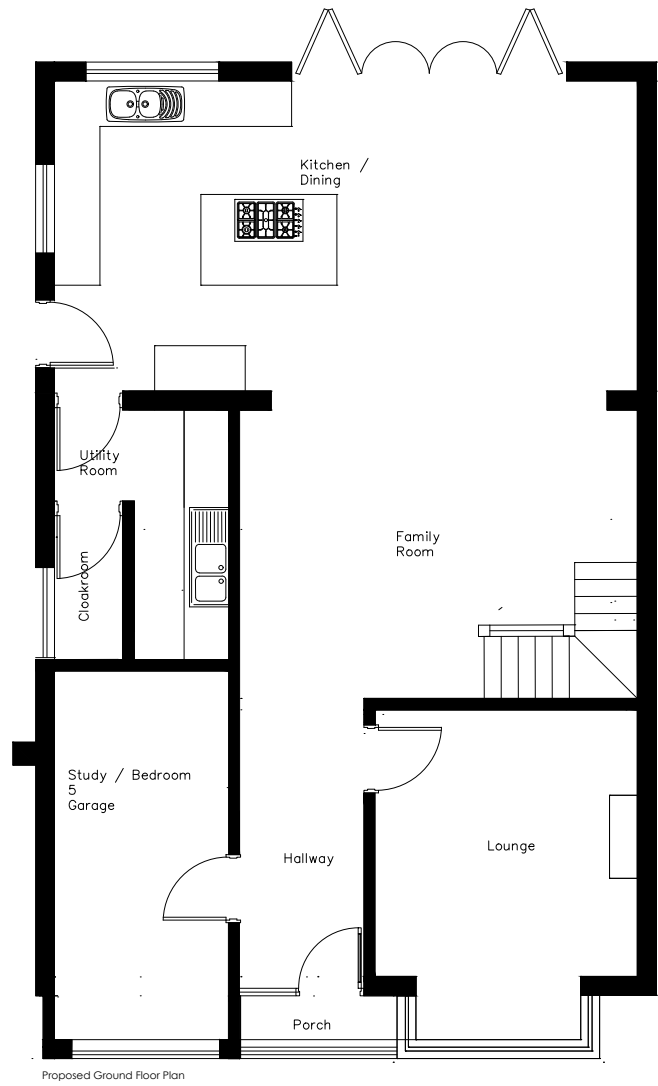
Rev 1 Rear Extension Roof altered to Hip end  
Drawing Number 01-004 Rev 2 Kitchen Window to Elevation

144 Balcombe Road, Horley

First Floor Rear Extension

Date: 4/11/2022  
Drawing Number 01-004 Rev 2  
Proposed Elevations  
Scale 1:100 @ A3

RB



Notes  
 Drawing Number 01-003 Rev 1 - Roof amended to hip end

144 Balcombe Road, Horley  
 First Floor Rear Extension  
 Date: 4/11/2022  
 Drawing Number 01-003 Rev 1  
 Proposed Plan  
 Scale 1:100 @ A3

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